

Applicant: Jack DeGagne; GMRI, Inc.
Consultant: Brandon Elegert; Kimley-Horn
Project: Olive Garden Reconstruction
Location: 4701 American Boulevard West: Bloomington
Rule(s): 2,4,5,11 and 12
Reviewer: BCO

General Background & Comments

The project proposes the reconstruction of the existing Olive Garden restaurant located at 4701 American Boulevard West in Bloomington. The new restaurant is to be relocated to the southwest corner of the site enabling the existing restaurant, located in the northwest corner of the site along American Boulevard, to remain open while the new building is being constructed. In addition to the new restaurant, the project will include the reconstruction of the existing on-site utilities, which will included an underground storm water facility (UGSWMF) for compliance with District Rule 4, and parking lot reconstruction.

The project site information is:

- Total Site Area: 2.72 acres
- Existing Total Site Impervious Area: 1.98 acres (86,249 square feet)
- Proposed Site Impervious Area: 84,506 square feet
- Reduction in Site Impervious Area: 1,743 square feet
- 2.0% reduction in the percentage of site impervious area
- Disturbed and reconstructed impervious area: 84,506 square feet
- 100% of the on-site impervious area will be disturbed and replaced
- Total disturbed area: 114,563 square feet (2.63 acres)

The Nine Mile Creek Watershed District's Rule for Redevelopment, Rule 4.2.3, states, if a proposed activity will disturb more than 50% of the existing impervious surface on a parcel or will increase the imperviousness of the parcel by more than 50%, storm water management will apply to the entire project parcel. Otherwise, the storm water requirements will apply only to the disturbed areas and additional impervious area on the parcel. Since there is a reduction

in the site impervious area and 100% of the impervious area will be disturbed and replaced, storm water management is required for the disturbed area of 114,563 square feet that includes 84,506 square feet of disturbed and reconstructed impervious area.

The District's requirements for both storm water management and erosion and sediment control apply to the project because more than 50 cubic yards of material will be disturbed and 5000 square feet or more surface area disturbed, Rules 4.2.1a and b and 5.2.1a and b.

The geotechnical report has identified the on-site soils as sandy-lean clay (CL) having an infiltration rate of 0.06 inches/hour using the Minnesota Stormwater Manual. The applicant has requested that the District consider the site to be restricted as defined in Rule 4.3.2. The maximum depth of stormwater retention in a clay soil is 0.24 feet for compliance with a drawdown of the inundation within 48 hours – resulting in a large surface area required for the volume retention to be provided. The area available for the UGSWMF has been maximized for the construction sequencing previously mentioned. The proposed UGSWMF constructed while the new building is built and the existing restaurant remains open will be located beneath approximately 34%, 20,000 square feet, of the total 58,500 square feet of on-site parking area proposed. With the area provided, a runoff volume of 0.68-inches is to be provided from the 84,506 square feet of proposed on-site imperviousness – greater than the minimum 0.55-inches stipulated in section 4.3.2a of the District rules. We concur with the site considered restricted and that the volume retention proposed complies with the requirements of rule 4.3.2.

Water quality management will be provided within the UGSWMF which will consist of a sand filtration system. Rate control is provided with the reduction of the on-site impervious area and further reduced with the detention provided within the UGSWMF.

The City of Bloomington's Surface Water Management Plan identifies an Atlas 14 100-year frequency flood elevation of 832.4 M.S.L for Wanda Miller Pond. At flood stage, a portion of the existing parking lot will be inundated. Approximately 1,330 cubic feet of flood volume will be displaced with the parking lot reconstruction. To provide compensatory storage as required by Rule 2.3.2b, the UGSWMF will provide a storage volume of 36,600 cubic feet at or below the flood elevation of Wanda Miller Pond.

Wanda Miller Pond is designated by the Minnesota Department of Natural Resources as a Public Waters Wetland (7W). The Olive Garden site is surrounded by existing impervious area – American Boulevard on the north, West 81st Street on the south, Oxborough Avenue on the west and a GMC car dealership parking lot on the east. The parking lot and West 81st Street separate the site from the Pond by more than 250 feet. This distance exceeds the maximum wetland buffer that would be required by Rule 3.4. Therefore no buffer is required on the site.

Silt fence, filter logs, inlet protection and a rock construction entrances are to be installed to provide erosion control.

Exhibits

1. Permit Application dated February 6, 2019.
2. Preliminary Plans dated January 14, 2019, latest revision April 5, 2019 prepared by Kimley-Horn.
3. Storm Water Management Technical Memo and calculations dated January 14, 2019, latest revision dated April 5, 2019 prepared by Kimley-Horn.

4. Geotechnical Report dated September 28, 2018 prepared by Intertek psi.
5. E-mail correspondence dated February 19, 2019 summarizing 3 items that needed to be addressed/submitted for the application to be complete. E-mail correspondence dated March 21, 2019 discussing 4 specific items that remained to be addressed for the application to be considered complete.

The project submittal is complete.

2.0 Floodplain Management and Drainage Alteration

The Atlas 14 100-year frequency flood elevation of Wanda Miller Pond, per the Bloomington Surface Water Management Plan, is 832.4 M.S.L. that extends onto a portion of the existing parking lot. The project proposes to raise the parking lot displacing a volume of 1,330 cubic feet of floodplain storage. To provide compensatory storage as required by Rule 2.3.2, the proposed underground storm water management facility will provide a detention volume of approximately 36,600 cubic feet. A detention volume of 30,600 cubic feet is required for the management of the 100-year runoff from the site.

2.3.1: The low floor elevation of all new and reconstructed structures must be constructed in accordance with the NMCWD Stormwater Rule, subsection 4.3.3

The proposed finished floor elevation of the reconstructed restaurant is to be 834.5 M.S.L. A separation of 2.1 feet will be provided between the finished floor elevation of the structure and the 832.4 M.S.L. flood elevation of Wanda Miller Pond.

2.3.2: Placement of fill below the 100-year flood elevation is prohibited unless fully compensatory storage is provided within the floodplain and:

- a. *at the same elevation +/- 1 foot for fill in the floodplain and:*
- b. *at or below the same elevation for fill in the floodplain of a water basin or constructed stormwater facility.*

The reconstruction of the on-site parking lot will displace a volume of 1,330 cubic feet of flood storage currently provided on the site. The proposed underground storm water management facility, constructed beneath the parking lot, will provide approximately 36,600 cubic feet for compensatory detention volume to comply with the requirements of this rule. As previously stated, a detention volume of 30,600 cubic feet is required for the management of the 100-year runoff from the site.

2.3.3. The District will issue a permit to alter surface flows only if it finds that the alteration will not have an adverse impact on any upstream or downstream landowner and will not adversely affect flood risk, basin or channel stability, groundwater hydrology, stream base-flow, water quality or aquatic or riparian habitat.

The project proposes, 1) a decrease in the impervious area that will not increase discharges from the 2, 10 and 100 year storm events as a result of the project, 2) a reduction in the volume of runoff generated and leaving the site, 3) compliance with the District's water quality management requirements that currently are not provided. Affects that the project will have on basin or channel stability, groundwater hydrology, streambase-flow aquatic or riparian habitat are not applicable since the outflow discharge from the site will connect into a municipal storm sewer system.

2.3.4 No structure may be placed, constructed or reconstructed and no surface may be paved within 50 feet of the centerline of any water course, except that this provision does not apply to:

a. Bridges, culverts, and other structures and associated impervious surface regulated under Rule 6.0;

b. Trails 10 feet wide or less, designed primarily for nonmotorized use.

This section of the rule does not apply to the proposed project.

4.0 Stormwater Management

A proposed decrease in the on-site impervious area is proposed that will not increase the 2, 10, and 100 year frequency discharges leaving the site. The proposed UGSWMF will further reduce the flow rates generated as shown in the following table:

Frequency	Existing Discharge to West 81st Street c.f.s.	Proposed Discharge to West 81st Street c.f.s.
2 year	7.3	<1.0
10 year	11.6	1.2
100 year	21.2	5.6

There is one proposed discharge point from the site.

As previously stated, the geotechnical information provided indicates that the on-site underlying soils are clay and the applicant has requested the site to be considered as a restricted site by the District in accordance with rule 4.3.2. We concur that the site complies with the definition of a restricted site as described in the District rules. The sequencing process as outlined in rule 4.3.2 has been followed by the applicant. An underground stormwater management system is to be provided for compliance with the stormwater requirements as defined in rule 4.3.2. A volume retention of 7,746 cubic feet would be required for 1.1-inches of runoff from the 84,506 square feet of impervious area. The system proposed will provide 4,805 cubic feet of volume retention at a depth of 0.24 feet over an area of 20,019 square feet. This volume equates to 0.68-inches of runoff from the proposed impervious area will be retained. Rule 4.3.2a requires a minimum retention volume be provided for the runoff of 0.55 inches from the impervious area of the site.

The District's water quality criterion requires a 60% annual removal efficiency for phosphorus and 90% annual removal efficiency for total suspended solids. The results of a MIDS calculator indicates that UGSWMF will provide an annual removal efficiency of 97% for total suspended solids (649 lbs.) and an annual removal efficiency of 60% for total phosphorus (2.2 lbs.). Rule 4.3.1c is met.

District Rule 4.3.3a states that all new and reconstructed buildings must be constructed such that the low floor elevation is at least two feet above the 100-year high water elevation or more than one foot above the natural overflow of a waterbody. The 100-year flood elevation of Wanda miller Pond is 832.4 M.S.L. and the proposed finished floor elevation of the reconstructed restaurant is 834.5 M.S.L. A separation of 2.1 feet is to be provided.

District Rule 4.3.3 states that all new and reconstructed buildings must be constructed such that no opening where surface water can enter the structure is less than two feet above the 100-year high water elevation of an adjacent facility or waterbody. The finished floor elevation and the low opening of the structure is the same as stated above. This requirement of paragraph 4.3.3 is met.

Pretreatment of stormwater prior to discharging to an infiltration facility, Rule 4.3.1a (i), will be provided by three sump manholes with baffles upstream of the UGSWMF.

In accordance with Rule 4.3.4, a post-project chloride management plan must be provided that will, 1) designate an individual authorized to implement the chloride-use plan and 2) designate a MPCA certified salt applicator engaged in the implementation of the chloride-use plan for the site.

5.0 Erosion and Sediment Control

The submitted erosion and sediment control plan includes silt fence at the limits of construction, sediment control logs, inlet protection and rock construction entrances at the entryway onto the site. The project contact is Brandon Elegert, Kimley-Horn.

11.0 Fees

Fees for the project are:

Rules 2.0-6.0	\$1,500
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12.0 Financial Assurances

Financial Assurances for the project are:

Rule 4.0: Volume Retention: 20,019 S.F. x \$12/ S.F. = \$240,228	\$240,228
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Chloride Management:	\$5000
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Rule 5: Silt fence: 1,300 L.F. x \$2.50/L.F. = \$3,250	
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Sediment logs: 450 L.F. x \$5/L.F. = \$2,250	
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Inlet Protection: 13 x \$100/each = \$1300	
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Site restoration: 3 acres x \$2500/ acre = \$7,500	\$14,300
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Contingency and Administration	\$109,472
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Findings

The proposed project includes the information necessary, plan sheets and erosion control plan, for review.

1. Rules 2, 4 and 5 are met.

Recommendation

Approval, contingent upon:

1. General Conditions
2. Financial Assurance in the amount of \$369,000 - \$364,000 for erosion control and site restoration and \$5,000 for compliance with the chloride management requirements.

3. Submission of documentation that a drainage easement over the stormwater-management facility has been submitted to Bloomington (4.5.4i), if such easement is required by the city.
4. A receipt showing recordation of a maintenance declaration for the on-site storm water management facilities. A draft of the declaration must be approved by the District prior to recordation.

By accepting the permit, when issued, the applicant agrees to the following stipulations:

1. Per Rule 4.5.6, an as-built drawing of the storm water facility, including a stage-volume relationship in tabular form for the UGSWMF, conforming to the design specifications as approved by the District must be submitted.
2. Submission of a plan for post-project management of Chloride use on the site. The plan must include 1) the designation of an individual authorized to implement the chloride use plan and 2) the designation of a Minnesota Pollution Control Agency certified salt applicator engaged in the implementation of the chloride-use plan for the site. The release of the \$5,000 of the financial assurance required for the chloride-management plan requires that chloride-management plan has been provided and approved by the District's Administrator.
3. For the release of the \$364,000 financial assurance required in Recommendation #2, Rule 12.4.1b requires demonstration and confirmation that the storm water management facilities have been constructed or installed and are functioning as designed and permitted. Verification, through daily observation logs and photographs, must be provided showing the storm water facilities used for volume retention have drawn down within 48 hours from the completion of two 1-inch (approximate) separate rainfall events

Board Action

It was moved by Manager _____, seconded by Manager _____ to approve permit application No. 2019-05 with the conditions recommended by staff.

Permit #: 2019-05
Project Name: Olive Garden Reconstruction; 4701 American Boulevard West: Bloomington
Approval Date: April 17, 2019

General Provisions

1. All temporary erosion control measures shown on the erosion and sedimentation control plans must be installed prior to commencement of surface or vegetation alteration and be maintained until completion of construction and vegetation is established as determined by NMCWD.

If silt fence is used, the bottom flap must be buried and the maximum allowable spacing between posts is 4-foot on center. All posts must be either 2-inch x 2-inch pine, hardwood, or steel fence posts. If hay bales are used, all bales must be staked in place and reinforced on the downstream side with snow fence.

2. All areas altered because of construction must be restored with seed and disced mulch, sod, wood fiber blanket, or be hard surfaced within two weeks after completion of land alteration and no later than the end of the permit period.
3. Upon final stabilization, the permit applicant is responsible for the removal of all erosion control measures installed throughout the project site.
4. At the entryway onto the site, a rock filter dike being a minimum of two feet in height and having maximum side slopes of 4:1 must be constructed. This rock filter dike will enable construction traffic to enter the site and also provide an erosion control facility.
5. If dewatering is required and sump pumps are used, all pumped water must be discharged through an erosion control facility prior to leaving the construction site. Proper energy dissipation must be provided at the outlet of the pump system.
6. The NMCWD must be notified a minimum of 48 hours prior to commencement of construction.
7. The NMCWD, its officers, employees and agents review, comment upon, and approve plans and specifications prepared by permit applicants and their consultants for the limited administrative purpose of determining whether there is reasonable assurance that the proposed project will comply with the regulations and criteria of the NMCWD. The determination of the NMCWD that issuance of this permit is appropriate was made in reliance on the information provided by the applicant.
8. The grant of this permit shall not in any way relieve the permittee, its engineer, or other professional consultants of responsibility, nor shall it make the NMCWD responsible for the technical adequacy of the engineer's or consultant's work. The grant of this permit shall not relieve the permittee from complying with all conditions and requirements of the permit which shall be retained by the permittee with the permit.
9. The issue of this permit does not convey any property rights in either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
10. This permit is permissive only. No liability shall be imposed upon the NMCWD or any of its officers, agents or employees, officially or personally, on account of the granting of this permit or on account of any damage to any person or property resulting from any act or omission of the permittee or any of its agents, employees, or contractors.

11. In all cases where the doing by the permittee of anything authorized by this permit shall involve the taking, using, or damaging of any property, rights or interests of any other person or persons, or of any publicly-owned lands or improvements or interests, the permittee, before proceeding therewith, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all necessary property, rights, and interest.
12. The permit is transferable only with the approval of the NMCWD (see NMCWD Rule 1.0). The permittee shall make no changes, without written permission previously obtained from the NMCWD, in the dimensions, capacity, or location of any items of work authorized by this permit.
13. The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the NMCWD for inspection of the work authorized by this permit.
14. This permit may be terminated by the NMCWD at any time deemed necessary in the interest of public health and welfare, or for violation of any of the provisions of this permit.
15. Construction work authorized under this permit shall be completed on or before date specified above. The permittee may, in writing, request that the NMCWD extend the time to complete the project in accordance with NMCWD Rule 1.0.



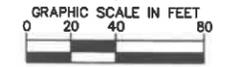
Permit No.2019-05

Is hereby issued to Jack DeGagne, GMRI, Inc., subject to the conditions specified in the attached form:

For the reconstruction of the Olive Garden restaurant located at 4701 American Boulevard West in Bloomington.

Jodi Peterson, Chair
Nine Mile Creek Watershed District

This permit expires on: April 1, 2020



ALL CONTRACTORS MUST CONTACT
GOPHER STATE CALL ONE
MN TOLL FREE 1-800-252-1166
BEFORE CONSTRUCTION BEGINS
TWIN CITY AREA 651-454-0002

GENERAL NOTES

- REFER TO SHEET C2.2 FOR LOCATION OF EROSION CONTROL MEASURES. BMP'S ARE TO BE INSTALLED PRIOR TO WORK COMMENCING.
- BMP'S TO BE ADJUSTED AS NECESSARY TO ENSURE NO SEDIMENT IS DISCHARGED.
- CONTRACTOR SHALL KEEP PARKING LOT CLEAN OR MUD AND DEBRIS FROM CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL REMOVE (GRIND OR BEAD BLAST) PAVEMENT MARKINGS WHEN REQUIRED.
- CONTRACTOR SHALL MAINTAIN ACCESS TO THE EXISTING AND PROPOSED RESTAURANT ENTRANCES.
- CONTRACTOR SHALL SECURE ALL EQUIPMENT AND SUPPLIES WITHIN STAGING AREAS AS DIRECTED BY CONSTRUCTION MANAGER. APPROPRIATE SIGNAGE SHALL BE DISPLAYED ALONG PERIMETER OF THE STAGING AREA DURING THE CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN TRUCK DELIVERY ACCESS AT ALL TIMES.
- CONTRACTOR SHALL RELOCATE EXISTING ADA PARKING STALLS AT EACH PHASE TO ENSURE ENOUGH ADA PARKING STALLS AT ALL TIMES.
- CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, MUD, TEMPORARY FENCING, ETC. UPON COMPLETION OF FINAL CONSTRUCTION.
- CONTRACTOR SHALL INSTALL TEMPORARY SAFETY FENCE AROUND PERIMETER OF CONSTRUCTION AREA. CONTRACTOR FENCING SHALL BE MODIFIED AS WORK PROGRESSES.
- CONTRACTOR SHALL CONDUCT THE SITE WORK CONSTRUCTION IN A WAY TO MAINTAIN CUSTOMER PARKING AND MINIMIZE INCONVENIENCE.
- CONTRACTOR SHALL MAKE NECESSARY REPAIRS TO ANY PAVING AND/OR CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE A 20:1 TAPER ON CHANGES IN GRADE DURING PHASING.
- ALL CONSTRUCTION AND POST CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING AND STORAGE IS NOT PERMITTED.

PAVING AND CURB LEGEND

- PHASE 1 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- PHASE 2 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- ROCK ENTRANCE
- CONCRETE CURB AND GUTTER
- BIOROLL
- CONSTRUCTION FENCE
- PHASING LIMITS

PARKING SUMMARY

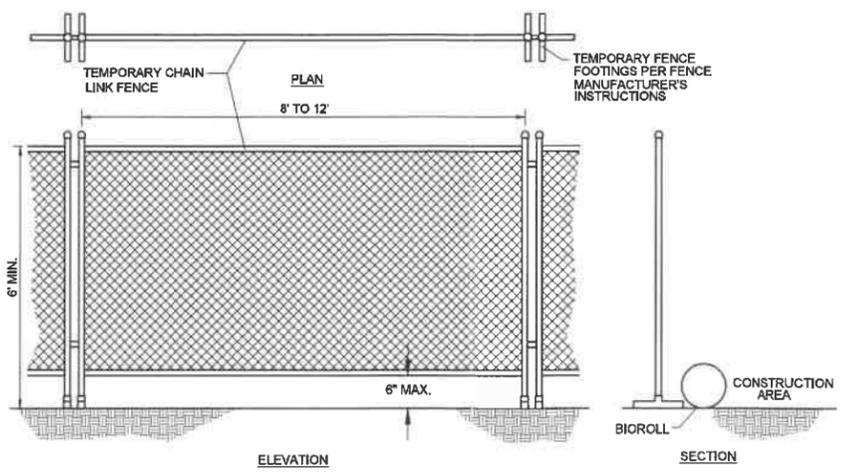
PARKING REQUIRED	1 STALL/2.5 SEATS	
EXISTING RESTAURANT (314 SEATS)	(314/2.5) =	126 STALLS
PROPOSED RESTAURANT (305 SEATS)	(305/2.5) =	122 STALLS

PHASE 1 NOTES AND PARKING

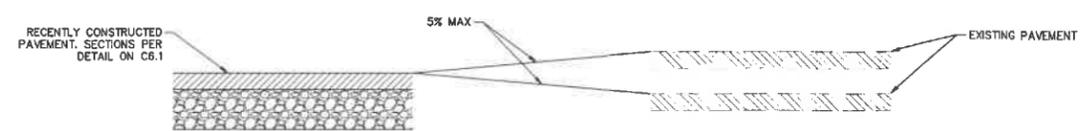
- PHASE 1 NOTES**
- CONTRACTOR SHALL INSTALL TEMPORARY SIGNAGE AND FENCE TO ENCLOSE CONSTRUCTION AREA.
 - INSTALL AND/OR ADJUST EROSION CONTROL DEVICES AS REQUIRED.
 - REMOVE EXISTING SITE APPURTENANCES.
 - CONSTRUCT UNDERGROUND STORMWATER MANAGEMENT AREA. STUB STORMWATER SERVICES TO EDGE OF CONSTRUCTION AREA.
 - CONSTRUCT PAVEMENT AND CURB AND GUTTER OF PARKING AREA.
 - REMOVE TEMPORARY SIGNAGE AND FENCE ONCE CONSTRUCTION OF PHASE 1 IS COMPLETE.
 - STORM SEWER RE-ROUTE REQUIRED TO BE COMPLETED IN PHASE 1. CONTRACTOR TO PERFORM WORK IN A MANNER THAT ALLOWS FOR THE SAFE ACCESS TO THE SOUTH PARKING FIELD. CLOSE TRENCH AND FILL WITH GRAVEL AT END OF EACH DAY.
- TOTAL PARKING TO REMAIN = 153 SPACES

PHASE 2 NOTES AND PARKING

- PHASE 2 NOTES**
- CONTRACTOR SHALL INSTALL TEMPORARY SIGNAGE AND FENCE TO ENCLOSE CONSTRUCTION AREA.
 - INSTALL AND/OR ADJUST EROSION CONTROL DEVICES AS REQUIRED.
 - REMOVE EXISTING SITE APPURTENANCES.
 - CONSTRUCT BUILDING PAD, UTILITIES, PARKING PAVEMENT, CURB AND GUTTER, AND SIDEWALK.
 - CONSTRUCT NEW SOUTHERN SITE ACCESS ONTO OXBOROUGH AVENUE.
 - REMOVE TEMPORARY SIGNAGE AND FENCE ONCE CONSTRUCTIONS OF PHASE 2 IS COMPLETE.
 - THE CONTRACTOR SHALL PERFORM UTILITY CONNECTIONS TO PROPOSED OLIVE GARDEN FROM WEST 81ST STREET OUTSIDE OF BUSINESS HOURS, AND FILL WITH GRAVEL AT THE END OF EACH DAY.
- TOTAL PARKING TO REMAIN = 130 SPACES



CONSTRUCTION FENCE



20:1 TAPER ON CHANGES IN GRADE BETWEEN PHASING
N.T.S.

Drawn by: K. QHS, LDCVA18113043 Jordan, Bloomington, MN; Design: CAG, PmapShaw03-01-4, Phas.cad; C1.4 PHASE 1 & 2 PLAN; Apr 05, 2019 8:28am; B. Laska, Natar; This document, together with the concepts and designs presented herein, is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and objection by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

crho
ARCHITECTS
1833 E. 17th St.
Suite 301
Santa Ana, CA 92705
phone 714.832.1834

Kimley-Horn
1001 WARRENVILLE ROAD,
SUITE 350
Lisle, IL 60532
PHONE: 815-487-6550
WWW.KIMLEY-HORN.COM

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KHA PROJECT # 168113043
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

Olive Garden
ITALIAN KITCHEN

Issue Date: 1/14/19
REVISION
02-08-19 AGENCY REVISION
03-12-19 AGENCY REVISION
04-05-19 AGENCY REVISION

Restaurant #: 6435
OLIVE GARDEN
4701 AMERICAN BLVD W.
BLOOMINGTON, MN
BLOOMINGTON, MN

Drawing
PHASE 1 & 2
PLAN

C1.4



ALL CONTRACTORS MUST CONTACT
GOPHER STATE CALL ONE
MN TOLL FREE 1-800-252-1166
BEFORE CONSTRUCTION BEGINS
TWIN CITY AREA 651-454-0002

GENERAL NOTES

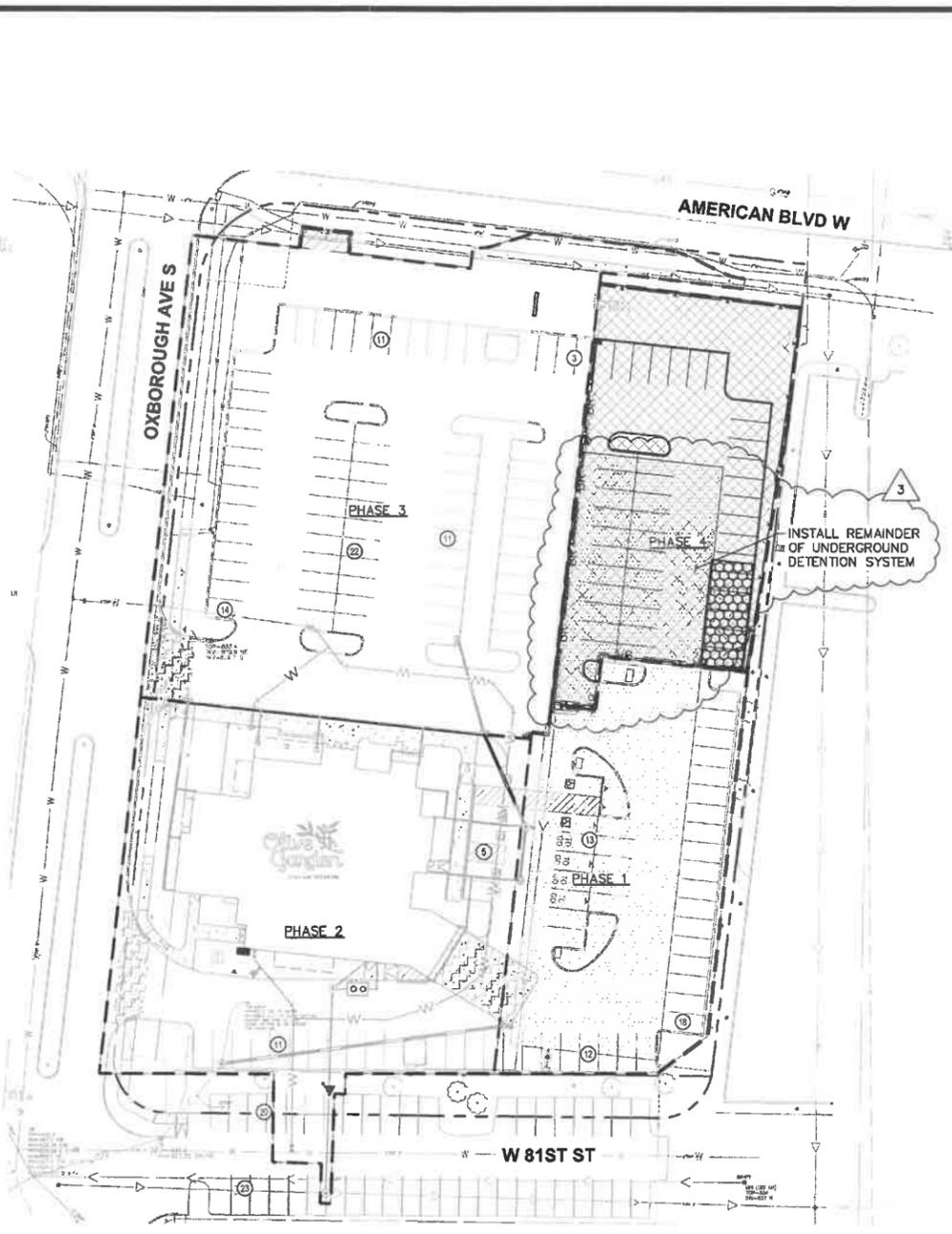
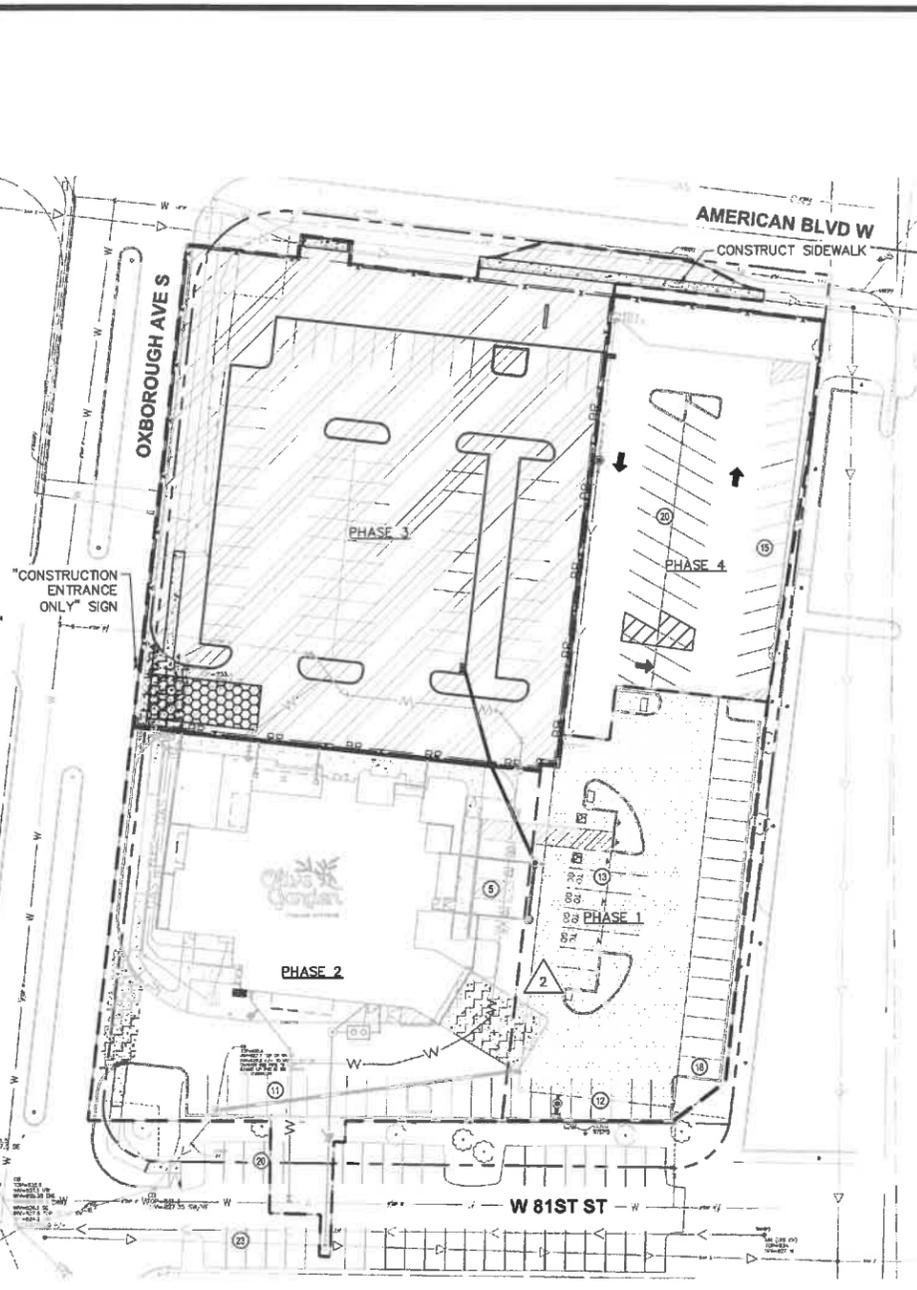
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- BMP'S TO BE ADJUSTED AS NECESSARY TO ENSURE NO SEDIMENT IS DISCHARGED.
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PAVING AND CURB LEGEND

- PHASE 1 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- PHASE 2 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- PHASE 3 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- PHASE 4 - SEE BELOW FOR NOTES AND PARKING TO REMAIN
- ROCK ENTRANCE
- CONCRETE CURB AND GUTTER
- BR - BIOROLL
- X - CONSTRUCTION FENCE
- PHASING LIMITS

PARKING SUMMARY

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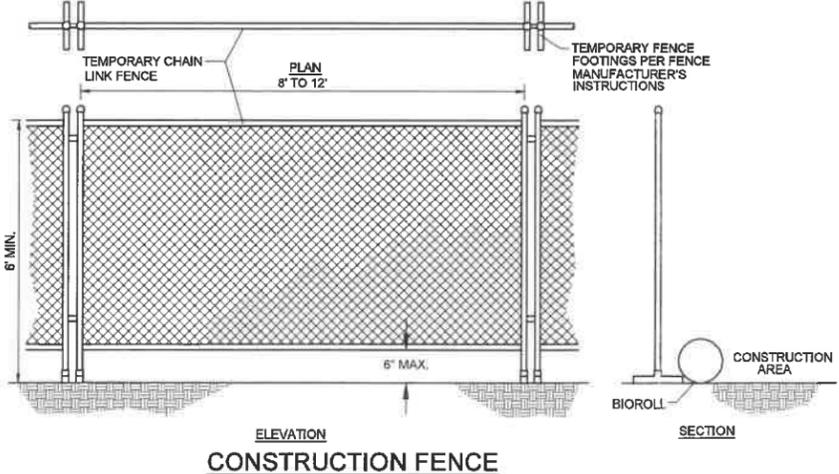
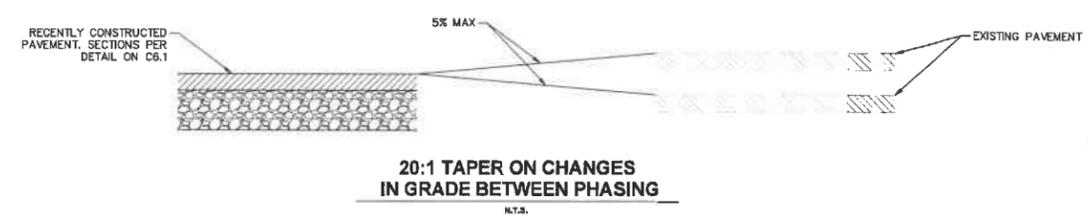


PHASE 3 NOTES AND PARKING

- PHASE 3 NOTES**
- CONTRACTOR SHALL INSTALL TEMPORARY SIGNAGE AND FENCE TO ENCLOSE CONSTRUCTION AREA.
 - INSTALL AND/OR ADJUST EROSION CONTROL DEVICES AS REQUIRED.
 - REMOVE EXISTING SITE APPURTENANCES. DEMOLISH EXISTING BUILDING ONCE NEW BUILDING IS OPEN FOR BUSINESS.
 - CONSTRUCT PAVEMENT AND CURB AND GUTTER OF PARKING AREA.
 - REMOVE TEMPORARY SIGNAGE AND FENCE ONCE CONSTRUCTION OF PHASE 3 IS COMPLETE.
- TOTAL PARKING TO REMAIN = 137 SPACES

PHASE 4 NOTES AND PARKING

- PHASE 4 NOTES**
- CONTRACTOR SHALL INSTALL TEMPORARY SIGNAGE AND FENCE TO ENCLOSE CONSTRUCTION AREA.
 - INSTALL AND/OR ADJUST EROSION CONTROL DEVICES AS REQUIRED.
 - REMOVE EXISTING SITE APPURTENANCES.
 - CONSTRUCT PAVEMENT AND CURB AND GUTTER OF PARKING AREA.
 - REMOVE TEMPORARY SIGNAGE AND FENCE ONCE CONSTRUCTION OF PHASE 4 IS COMPLETE.
- PARKING TO REMAIN = 163 SPACES



Drawn: K. OHS, LDF, J. B. B. 1/14/19
 Checked: B. M. H. 1/14/19
 Design: J. M. V. 1/14/19
 Plan: C1.5
 Date: 1/14/19
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crho
ARCHITECTS
1833 E. 17th St.
Suite 301
Santa Ana, CA 92705
phone 714.832.1834

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Kimley-Horn
1001 WARRENVILLE ROAD,
SUITE 350
Lisle, IL 60532
PHONE: 630.487.5550
WWW.KIMLEY-HORN.COM

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRANDON ELEGERT
DATE: 3/22/19, MN LIC. NO. 56387

Olive Garden
ITALIAN KITCHEN

Issue Date: 1/14/19

REVISION	DATE
AGENCY REVISION	02-08-19
AGENCY REVISION	03-12-19
AGENCY REVISION	04-05-19

Restaurant #: 6435

OLIVE GARDEN
4701 AMERICAN BLVD W.
BLOOMINGTON, MN
BLOOMINGTON, MN

Drawing
PHASE 3 & 4 PLAN

C1.5

