



Nine Mile Creek Discovery Point
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MEMO

TO: Nine Mile Creek Watershed District Board of Managers

FROM: Randy Anhorn

DATE: May 7, 2019

RE: LHB Building Addition Design Options

Background

As discussed at our February 17, 2019 Board meeting, I had LHB Architects prepare a few design options for a potential building addition/renovation to meet future District needs. The consensus at the meeting was that with the need for more office and storage space, we needed to build out for all of our foreseeable needs and that this is more than likely a one-time project (i.e., one-time deal--no more additions). Attached are three basic design concepts for a 325-475 square foot addition with internal renovations to the northwest portion of the building to provide additional office and storage space.

The basic options (attached) include:

- A design that would result in five (5) individual private offices and added storage space (**Design E1**)
- A design that would be a more open concept resulting in one (1) designated private office for the administrator/executive director, an open space that could be designed to have four (4) cubicles, one (1) shared private office for private/quiet needs for those officed in the shared space and two (2) storage areas (**Design G**)
- A design that is more of a hybrid concept with two (2) designated private offices, an open space that could be designed to have three (3) cubicles, one (1) shared private office for private/quiet needs for those officed in the shared space and one (1) storage area (**Design B3**)

These designs are conceptual. A more detailed design will be drawn once the basic concept is determined.

In looking at the options, it is important to look at the pros and cons of both the open office concept and the private office concept.

Private Office

Advantages

- Privacy
- Status
- Quieter
- More wall space
- More productivity?

Disadvantages

- More costly to build
- Less flexibility/more costly to renovate
- More difficult to control HVAC

Open Office

Advantages

- Less costly to build
- Simple to change layouts
- Better HVAC Control
- Facilitates “informal” communication?

Disadvantages

- Noisier
- Less Privacy
- Less desirable to staff
- Facilitates less “informal” communication?

Some things to consider when determining which design concept

- Office design type should be based on need, not solely want—the building is meant to house and fulfill current and future staff and District needs
- Board has a responsibility to the taxpayers to construct the most cost-efficient space that promotes an efficient and collaborative work environment to fulfill goals and objectives of the District’s Water Management Plan

Request

Discuss preferred design options for staff and LHB.



VARIES

27'±

EXPANSION
325-475 #±

RENOVATION
500 #±

OFFICE
101

CLOSET
117A

RESTROOM
118

OFFICE
119

MECH.
115B

GREENHOUSE
115

POND

WEST
CORRIDOR
117

MUDROOM
116

CLOSET
116A

LAB
114

INTERPRETIVE
104

CLOSET
104A

OPEN OFFICE
103

FIREPLACE

MATCHLINE

RECEPTION
105

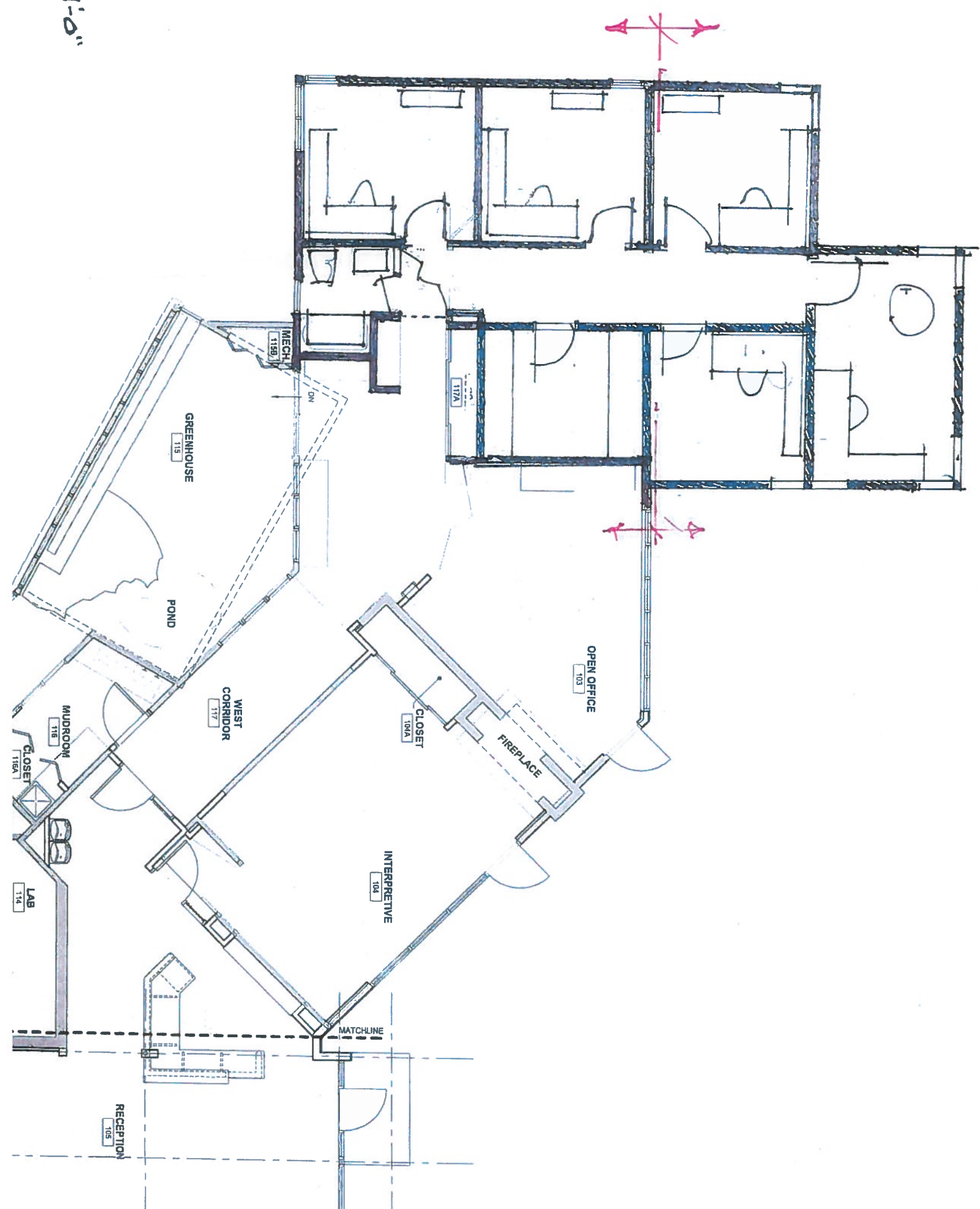
4.17.19



EXISTING
1/8" = 1'-0"



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w. 1/8" = 1'-0"

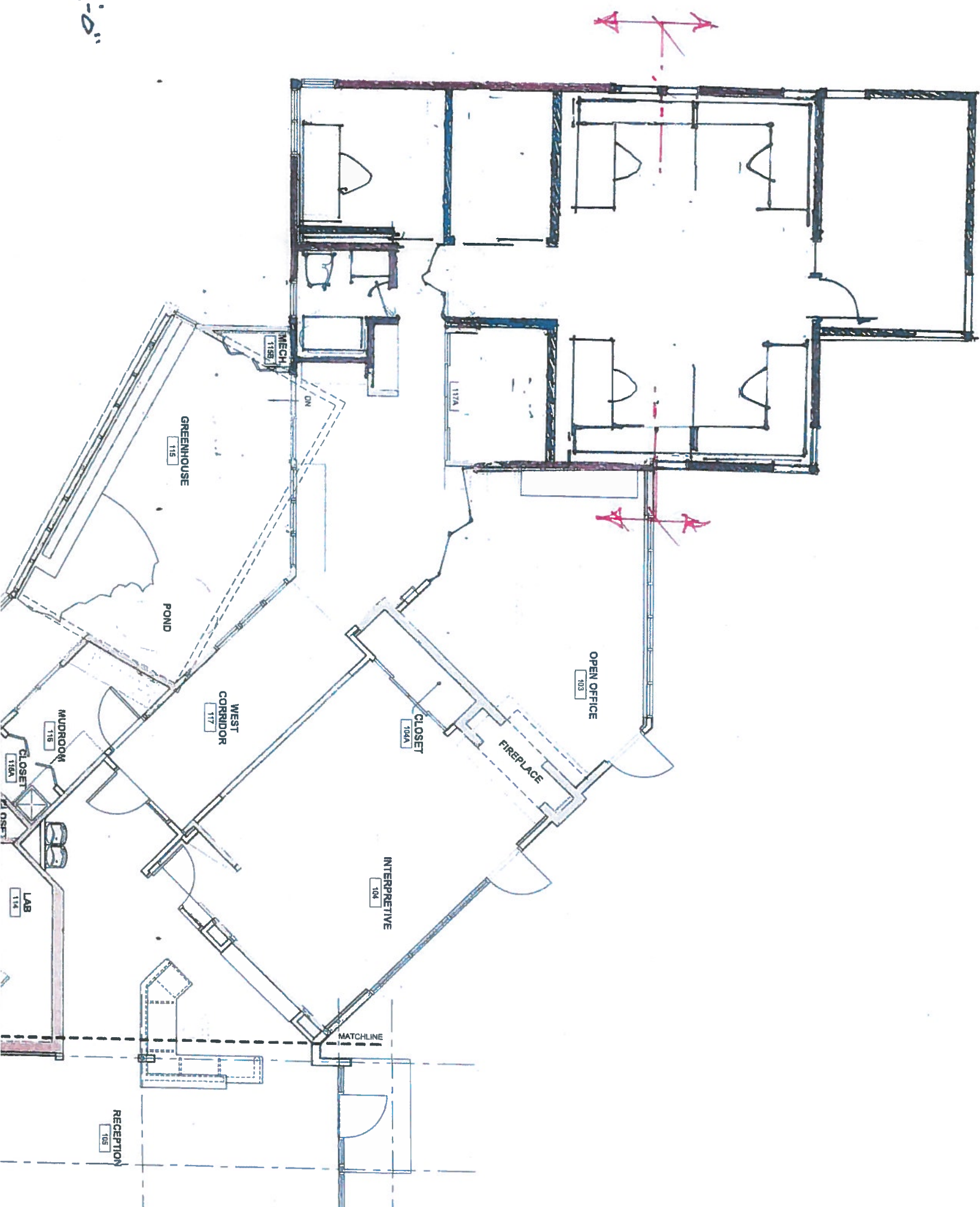




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OPTION 'G'

1/8" = 1'-0"



OPTION #3 1/8" = 1'-0"

