



Nine Mile Creek Discovery Point

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MEMO

**TO: Nine Mile Creek Watershed District Board of Managers**

**FROM: Randy Anhorn**

**DATE: September 12, 2018**

**RE: LHB Architects office space schemes**

### **Background**

Per my request, LHB Architects developed three plan schemes for two office spaces (attached). The following is a summary of highlights for each. Ideally, they would like us to would pick one preferred scheme that I could then be forwarded to the city planner and to develop a bit further to send to a general contractor for budget pricing.

Plan Scheme A – This is their preferred scheme.

- Maintains views to exterior from open office area 103.
- All existing offices should be able to be used during construction.
- The window in office 102 (my current office) has been reduced.
- The soffits are re-worked a bit (dashed lines) so we would not have to walk under a really low ceiling to get to the new offices. I think the existing ducts could be modified to run in the new roof structure so the ceiling can be kept high over the circulation.
- Creates privacy for new offices. They do not open directly onto the open office area.
- Existing roof drainage would need to be changed. The addition is located where a roof scupper is currently located.
- Of the three schemes, I would assume that this would be more costly than scheme C but less than scheme B.

Plan Scheme B

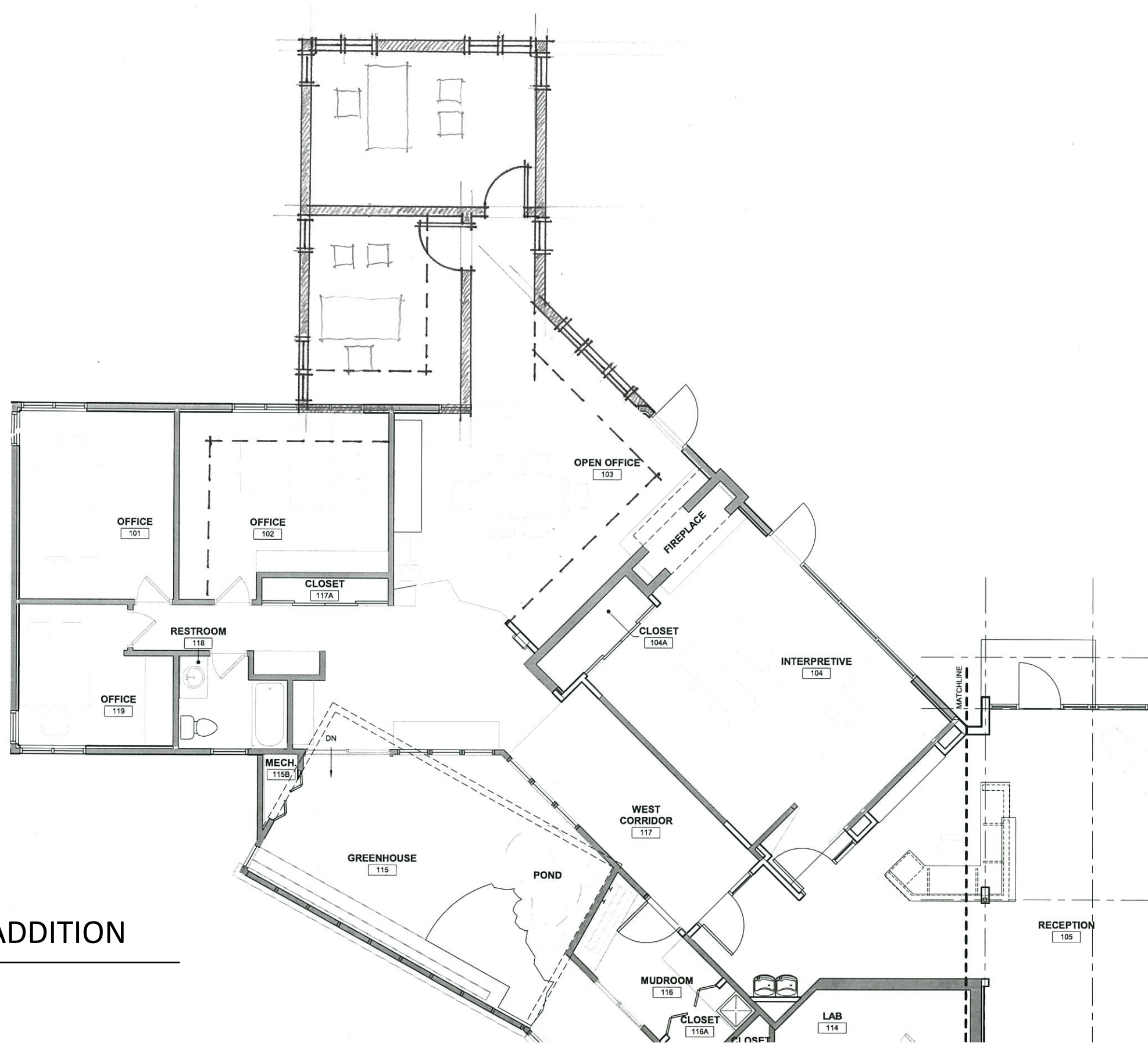
- Maintains existing views out of rooms 102 and 103.
- Office 101 will not be able to be used during construction.
- Creates most privacy for new offices of the three schemes.
- Worked to keep addition as far north as possible and away from the existing tree. This would need to be studied in more detail to confirm that the tree would not be negatively impacted.
- Should not impact existing roof drainage significantly.
- Of the three schemes, I would assume that this would be the most expensive based on the amount of both addition and renovation work.

Plan Scheme C

- Blocks most views out of room 103.
- All existing offices should be able to be used during construction.
- The window office 102 (my current office) has been reduced.
- The soffit (dashed) should be able to remain as is. Mechanical modification should be the easiest with this scheme.
- Scheme with least privacy for new offices. They do open directly onto the open office area.
- Existing roof drainage would need to be changed. The addition is located where a roof scupper is currently located.
- Of the three schemes, I would assume that this would be the least expensive.

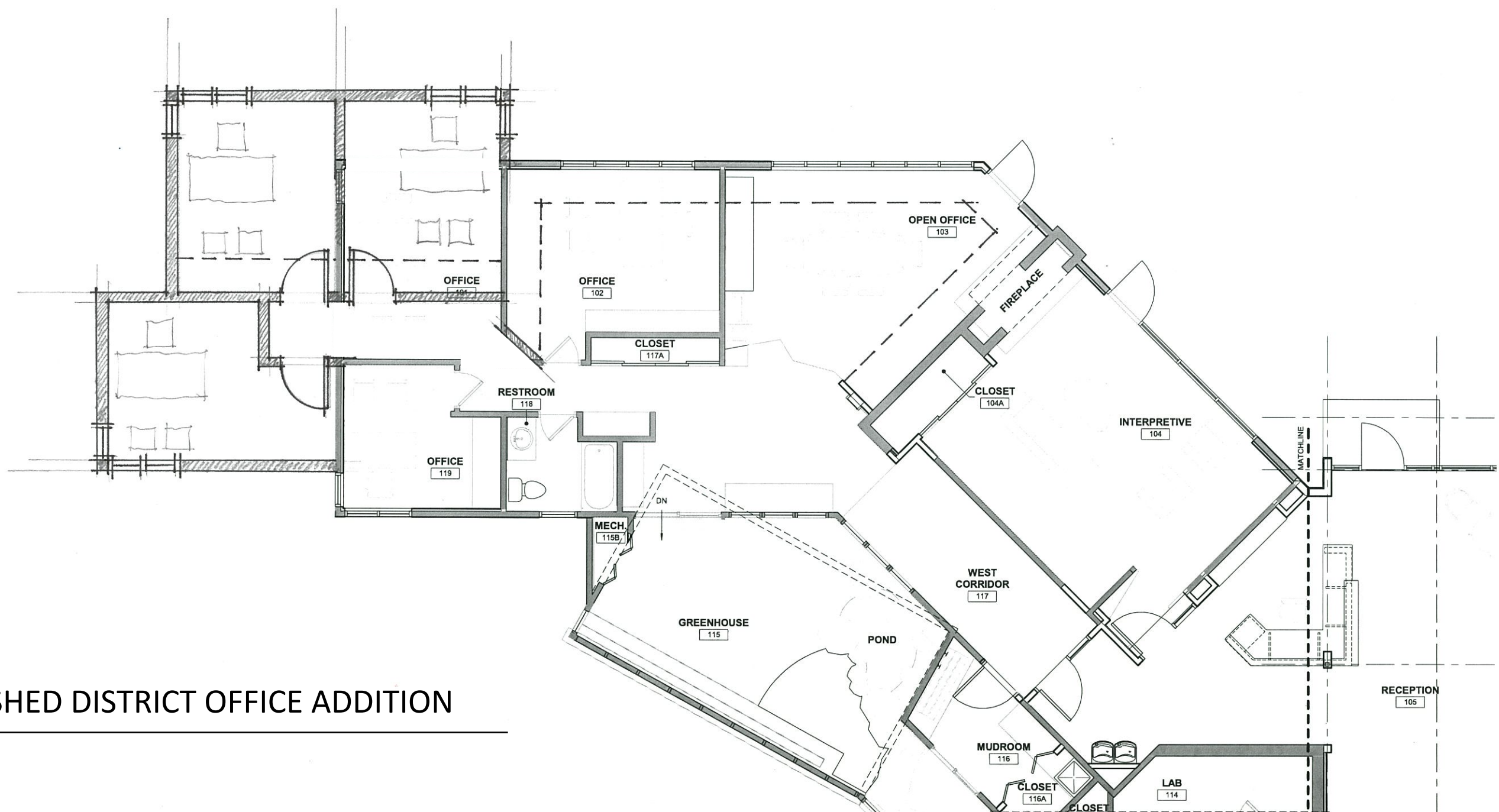
**Action**

Provide direction as to which of the three schemes we should ask LHB to focus on.



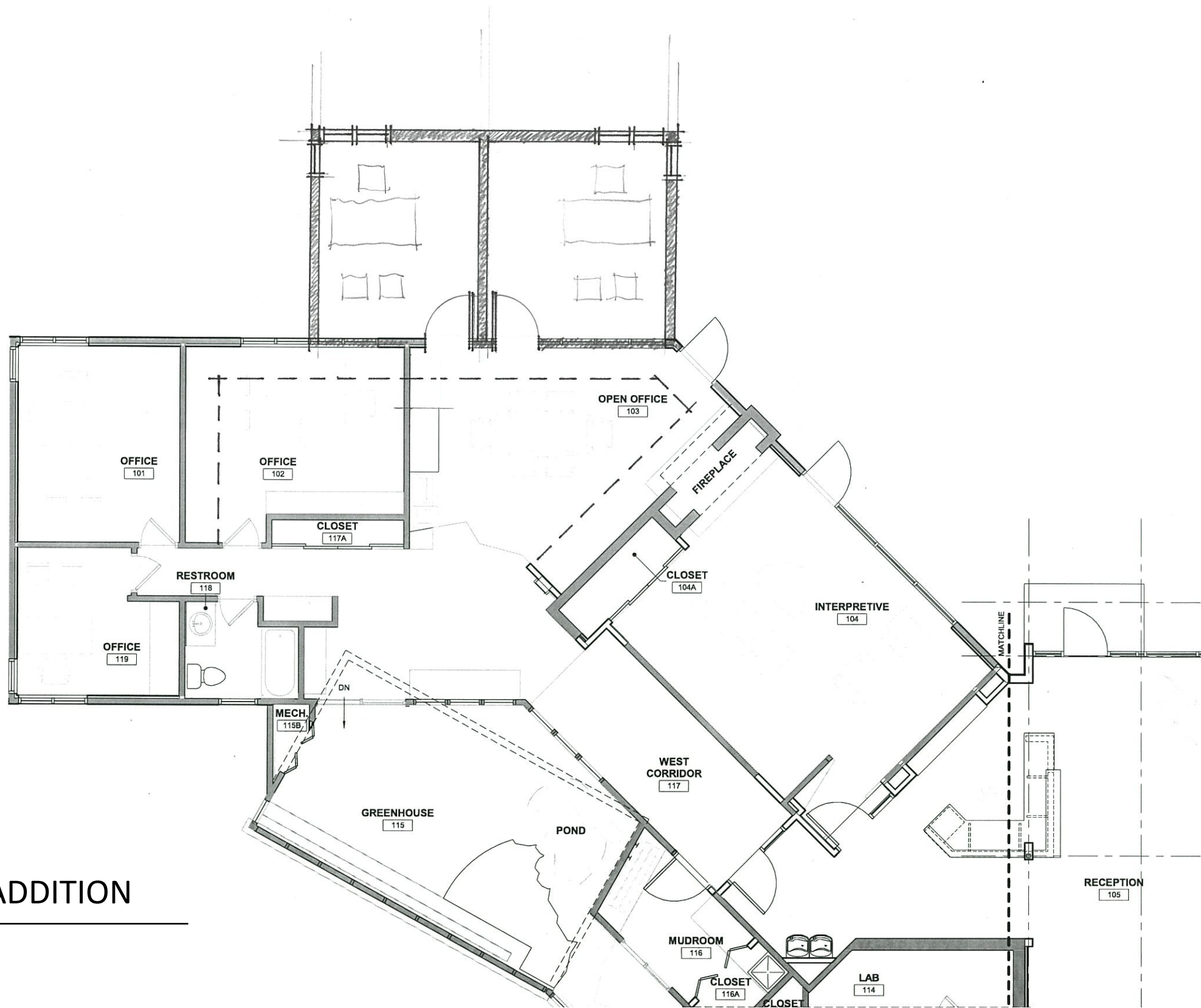
# NINE MILE CREEK WATERSHED DISTRICT OFFICE ADDITION

PLAN SCHEME A | 08.27.2018



# NINE MILE CREEK WATERSHED DISTRICT OFFICE ADDITION

PLAN SCHEME B | 08.27.2018



# NINE MILE CREEK WATERSHED DISTRICT OFFICE ADDITION

PLAN SCHEME C | 08.27.2018