

Applicant: Josh Brandsted; Greco Properties, LLC.
Consultant: David Bade; Westwood Professional Services, Inc.
Project: Blue Stem North Multi-family Residential Housing
Location: 6901 Flying Cloud Drive: Eden Prairie
Rule(s): 3, 4 and 5
Reviewer(s): LLH/BCO

General Background & Comments

The applicant proposes the redevelopment of the site, 6901 Flying Cloud Dr, located in the northeast quadrant of Flying Cloud Drive and W. 70th Street in Eden Prairie. Currently, the 15.2-acre site is occupied by portions of building foundations.

The project proposes the following:

- demolition and removal of the existing portions of building foundations, and concrete and bituminous pavement constructed under NMCWD Permit #2006-021
- site clearing and grading
- construction of a 82,500-square foot multi-story residential housing building with one level of underground parking, and a 57,200-square foot multi-story residential housing building with one level of underground parking
- construction of an access drive serving the two building entrances, and fire access roads
- site improvements including concrete sidewalks, landscaping, utilities, retaining walls, a pool and a pool deck, and walking trails
- construction of an underground stormwater management facility (UGSWMF)

In 2006, a Nine Mile Creek Watershed District (NMCWD) permit application and plans for the construction of Liberty Plaza were submitted and approved under Permit #2006-021. Development of Liberty Plaza began in 2007 and included demolition of the existing bituminous pavement parking lot on the site and construction of portions of the building foundations prior to the project being halted and abandoned. Review of the proposed project in conformance with the current stormwater management requirements requires review with regard to the “last major use” of the site. The existing conditions, or “last major use” of the site, includes site elements (i.e. parking lot) prior to partial development of Liberty Plaza.

The project site information is:

- Total Site Area: 15.24 acres

- Disturbed Area: 6.66 acres
- Existing Site Impervious Area: 3.04 acres (last major use of site, pre-2007 partial development of Liberty Plaza)
- Proposed Site Impervious Area: 4.68 acres
- Increase in Impervious Area: 1.64 acres (53.9% increase in impervious area)

The district's requirements for both stormwater management and erosion and sediment control apply to the project because more than 50 cubic yards of material will be disturbed and 5,000 square feet or more of surface area is altered, Rules 4.2.1a and b and 5.2.1a and b.

Exhibits

1. Permit Application dated October 25, 2021.
2. Plans dated October 6, 2021, with the most recent revision dated February 17, 2021, prepared by Westwood Professional Services, Inc.
3. Stormwater Management Report dated August 23, 2021, revised October 5, 2021, December 1, 2021, December 17, 2021, and January 27, 2022, prepared by Westwood Professional Services, Inc.
4. Electronic P8 model files received December 2, 2021, prepared by Westwood Professional Services, Inc.
5. Electronic HydroCAD model files received December 2, 2021, February 7, 2022, and February 17, 2022, prepared by Westwood Professional Services, Inc.
6. Geotechnical Evaluation Report dated September 30, 2021, prepared by Braun Intertec.
7. Minnesota Routine Assessment Method (MnRAM) wetland data dated July 13, 2021, prepared by Westwood Professional Services, Inc.
8. Wetland Delineation Report for Liberty Plaza Project dated October 7, 2019, prepared by Westwood Professional Services, Inc.
9. NMCWD Notice of Decision dated October 22, 2019.
10. Email correspondence dated November 18, 2021, outlining fourteen items required for the application to be considered complete.

An Environmental Assessment Worksheet (EAW) was required for the project. The City of Eden Prairie, being the Regulatory Governmental Unit (RGU) reviewing the completeness of the EAW, determined the EAW complete and approved the EAW on February 8, 2022. The application with the submittal items above is complete.

3.0 Wetlands Management

The District's Wetland Management Rule 3.0 applies to the project because three onsite wetlands, 01-34-F, 01-34-A and 01-34-H/G, as identified in the City of Eden Prairie (City) wetland inventory, are downgradient from the project's land-disturbing activities and a permit under District Rule 4.0 is required (Rule 3.4). Wetlands 01-34-A and 01-34-H/G include wetland replacement areas that provided mitigation required for previous wetland impacts.

Wetland impacts proposed under previously permitted work (Permit #2006-21) and onsite wetland replacement areas approved in 2007 were completed and certified as compliant with WCA requirements in 2012. No disturbances within the wetlands or wetland replacement areas are proposed by the current project, Permit #2021-143.

The district is the Local Government Unit (LGU) responsible for administering the Wetland Conservation Act (WCA) in Eden Prairie. A wetland boundary determination was completed on August 13, 2019, for the Liberty Plaza Project area, a 47.7-acre area that included the three wetlands on the Blue Stem site. The wetland delineation report dated October 7, 2019, prepared by Westwood Professional Services, Inc. indicates that during the August 13, 2019, delineation, a portion of the Liberty Plaza Project area was inaccessible due to construction of the Southwest Light Rail Transit (SWLRT) project. To determine the wetland boundaries within the inaccessible portions of the Liberty Plaza site, 2007 and 2013 wetland delineations provided by the City were used for the updated wetland boundary determinations. A Technical Evaluation Panel (TEP), convened on September 13, 2019 and reviewed the wetland boundaries in the field. A TEP was reconvened on October 4, 2019. A WCA Notice of Decision approving the wetland boundaries and type determinations was issued on October 22, 2019. Documentation on the location of the three wetland boundaries onsite has been provided for the purpose of assessing buffer width criteria in accordance with Rule 3.4.1.

Westwood Professional Services, Inc. submitted MnRAM Assessment Results dated July 13, 2021, for the three onsite wetlands. Separate MnRAM data was prepared and submitted for the wetland replacement areas. Based on the comparison of the function and values presented in Appendix 3b of the district's Rules, the NMCWD wetland rating for the wetlands and replacement areas are classified as:

Wetland (City ID)	NMCWD Wetland Rating (Value)	Replacement Area Value
01-34-F	Medium	N/A – No Replacement Area
01-34-A	Medium	High
01-34-H/G	Medium	High

The district agrees with the MnRAM results and value determinations. A medium value wetland requires a 20-foot minimum and 40-foot average buffer width, and a high value wetland requires a 30-foot minimum and 60-foot average buffer width in accordance with Rules 3.4.1a and b.

As previously stated, because wetland impacts are not proposed by the activities of Permit #2021-143, wetland buffers are required on the portion of the wetlands downgradient from the land-disturbing activities. However, as shown on the plans, a buffer area is provided around the entirety of the wetland boundaries on property owned by the applicant in compliance with Rule 3.4.4. The table below summarizes the wetland buffer requirements in accordance with Rule 3.4.1 and the buffer areas provided.

Wetland (City ID)	Required Buffer Area for Wetland and Wetland Replacement Areas (square feet)	Provided Buffer Area for Wetland and Wetland Replacement Areas (square feet)
01-34-F	15,502	17,222
01-34-A	87,796	87,899
01-34-H/G	22,335	23,412

As shown on the plans, the required minimum and average buffer areas on the portions of the wetlands downgradient from activities are met. The buffer area is taken to the property boundary, as permitted by buffer width averaging methodology outlined in Rule 3.4.1. Walking trails designed for nonmotorized use are located within the proposed buffers, in compliance with Rule 3.4.6.

In accordance with Rule 3.4.5, buffer markers at the edges of the buffer area are required. Subsection 3.4.7 requires the maintenance of the wetland buffer by the applicant. A maintenance plan is required and must be recorded on the title to the property.

4.0 Stormwater Management

The district's requirements for stormwater management apply to the project because more than 50 cubic yards of material will be disturbed and 5,000 square feet or more of surface area is altered, Rules 4.2.1a and b.

The NMCWD's Rule for Redevelopment, Rule 4.2.3, states, if a proposed activity will disturb more than 50% of the existing impervious surface on the site or will increase the site imperviousness by more than 50%, stormwater management will apply to the entire project site. Otherwise, the stormwater requirements will apply only to the disturbed, replaced and net additional impervious surface on the project site. Since the proposed Liberty Plaza project (Permit #2006-021) disturbed the entire last major use of the site (100% of the existing conditions impervious surface disturbed), stormwater management is required for the entire site, including the 4.68 acres (203,774 square feet) of impervious surface.

Stormwater management for compliance with Rules 4.3.1a, b and c will be provided by an UGSWMF.

Rule 4.3.1b requires the 2-, 10-, and 100-year post development peak runoff rates be equal to or less than the existing discharge rates at all points where stormwater leaves the site. The applicant used a HydroCAD hydrologic model to simulate runoff rates at all collection points where stormwater discharge leaves the site. The existing and proposed 2-, 10- and 100-year frequency discharges from the site are:

Existing Conditions			
Modeled Discharge Location	2-year (c.f.s.)	10- year (c.f.s.)	100-year (c.f.s.)
To Wetland 01-34-H/G (Ultimately conveying stormwater to W 70th St)	4.2	7.8	13.0
To Flying Cloud Drive	2.3	4.3	8.9
Total	6.5	12.1	21.9

Proposed Conditions			
Modeled Discharge Location	2-year (c.f.s.)	10- year (c.f.s.)	100- year (c.f.s.)
To Wetland 01-34-H/G (Ultimately conveying stormwater to W 70th St)	3.9	7.6	12.4
To Flying Cloud Drive	1.9	3.8	8.0
Total	5.8	11.4	20.4

Rule 4.3.1b is met.

The Braun Intertec geotechnical report identifies the underlying soil within the area of the UGSWMF as silty-sand (SM) underlain by poorly graded with silt (SP-SM). An infiltration rate of 0.8 inches per hour has been used for design, using infiltration rates identified in the Minnesota Storm Water Manual.

A retention volume of 18,679 cubic feet is required from the 203,774 square feet of proposed site impervious area. A retention volume of 18,886 cubic feet is proposed to be provided (18,679 cubic feet required) with an infiltration area of 8,662 square feet (5,837 square feet required). With an area of 8,662 square feet, the volume retention is drawn down within 33-hours, complying with Rule 4.3.1a (ii).

The district's water quality criterion requires a 60% annual removal efficiency for total phosphorus (TP) and 90% annual removal efficiency for total suspended solids (TSS). The results of a P8 model provided show that the UGSWMF will provide an annual removal efficiency of 98.5% for TSS (2,812 lbs.) and an annual removal efficiency of 93.3% for TP (9.3 lbs.). Rule 4.3.1c is met.

Rule 4.5.4d (i) requires three feet of separation between the bottom of an infiltration facility and groundwater. The soil boring logs indicate that groundwater was encountered between elevations 855 +/- M.S.L. and 859 +/- M.S.L. The following table provides a comparison of the bottom elevation of the UGSWMF in relation to groundwater.

Proposed Stormwater Management Facility	Bottom Elevation of UGSWMF M.S.L.	Groundwater Elevation (ST-201) M.S.L.	Separation Provided (feet)
UGSWMF	862.5	858.6*	3.9

*Highest observed groundwater elevation near proposed UGSWMF

The required three (3) feet of separation is provided between the bottom of an infiltration area and groundwater.

Rule 4.3.3 states that all new and reconstructed buildings must be constructed such that the low floor is at least two feet above the 100-year high-water elevation or one foot above the emergency overflow of a constructed facility. Additionally, Rule 4.3.3 states that all new and reconstructed buildings must be constructed such that no opening where surface flow can enter the structure is less than two feet above the 100-year high-water elevation of an adjacent facility. The low floor and low opening elevations of the proposed multi-family residential

buildings in relation to the proposed UGSWMF 100-year high-water elevation is summarized in the table below.

Proposed Building	100-year Frequency Flood Elevation of UGSWMF (M.S.L.)	Low Floor Elevation of Proposed Building (M.S.L.)	Low Floor Separation Provided (feet)	Low Opening Elevation of Proposed Building Adjacent to UGSWMF (M.S.L.)	Low Opening Separation Provided (feet)
Building 1 (North)	869.1	863.0 ¹	-6.1 ²	874.0	4.9
Building 2 (South)	869.1	863.0 ¹	-6.1 ²	874.0	4.9

¹Underground parking garage

²NMCWD Appendix 4a analysis required

Appendix 4a as described in Rule 4.3.3a was utilized to determine compliance with the low floor elevation requirement for the proposed buildings. For Building 1, using Plot 5 of Appendix 4a, with groundwater observed at elevation 858.6 M.S.L. and a distance of 16 feet shown to be provided between the building and the UGSWMF, a minimum permissible depth of 3.3 feet must be provided from the low floor elevation to groundwater (4.4 feet provided).

For Building 2, again using Plot 5 of Appendix 4a, with groundwater observed at elevation 858.6 M.S.L. and a distance of 46 feet shown to be provided between the building and the UGSWMF, a minimum permissible depth of 2.2 feet must be provided from the low floor elevation to groundwater (4.4 feet provided).

Rule 4.3.3 also states that all new and reconstructed buildings must be constructed such that the low floor is at least two feet above the 100-year high-water elevation or one foot above the natural overflow of a waterbody.

The low floor and low opening elevations of the proposed buildings in relation to the wetlands' 100-year high-water elevations are summarized in the table below.

Wetland (City ID)	100-year Frequency Flood Elevation of Wetland (M.S.L.)	Low Floor Elevation of Proposed Buildings 1 & 2 (M.S.L.)	Low Floor Separation Provided (feet)	Low Opening Elevation of Proposed Buildings 1 & 2 - Adjacent to Wetlands (M.S.L.)	Low Opening Separation Provided (feet)
01-34-F	861.7 ¹	863.0	1.3 ³	863.8 (Bldg 2)	2.1
01-34-A	858.8 ²	863.0	4.2	874.0 (Bldgs 1 & 2)	15.2
01-34-H/G	859.7 ²	863.0	3.3	874.0 (Bldgs 1 & 2)	14.3

¹Based on modeling provided by the applicant

²Based on the District's XPSWMM model

³NMCWD Appendix 4a analysis required

Rule 4.3.3a states all structures riparian to inundation areas or constructed or natural stormwater management facilities must be located at elevations set according to Appendix 4a. Appendix 4a as described in Rule 4.3.3a was utilized to determine compliance with the low floor elevation requirement for Building 2 in relation to wetland 01-34-F (see table above). For

Building 2, using Plot 5 of Appendix 4a, with the highest groundwater observed at elevation 858.6 M.S.L. and a distance of 5 feet shown to be provided between the building and the 100-year high-water elevation of wetland 01-34-F, a minimum permissible depth of 2.0 feet must be provided from the low floor elevation to groundwater (4.4 feet provided). Additionally, the low floor elevation (863.0 M.S.L.) will be constructed 1.1 feet above the overflow of the wetland (861.9 M.S.L.) in accordance with Rule 4.3.3 (1 foot required).

The project is in conformance with Rule 4.3.3 criteria.

In accordance with Rule 4.3.1a (i), where infiltration or filtration facilities, practices or systems are proposed, pre-treatment of runoff must be provided. Sump manholes will provide the required pretreatment of runoff prior to discharging to the UGSWMF, complying with Rule 4.3.1a (i).

In accordance with Rule 4.3.4, a post-project chloride management plan must be provided that will, 1) designate an individual authorized to implement the chloride-use plan and 2) designate a MPCA certified salt applicator engaged in the implementation of the chloride-use plan for the site.

5.0 Erosion and Sediment Control

The district's requirements for erosion and sediment control apply to the project because more than 50 cubic yards of material will be disturbed and 5,000 square feet or more of surface area is altered, Rules 5.2.1a and b.

The erosion control plan prepared by Westwood Professional Services, Inc. includes installation of silt fence, a stabilized rock construction entrance and storm sewer inlet protection.

The contractor for the project will need to designate a contact who will remain liable to the district for performance under the District's Erosion and Sediment Control Rule 5.0, in accordance with subsection 5.4.1e. NMCWD must be notified if the responsible individual changes during the permit term.

11.0 Fees

Fees for the project are:

Rules 4.0-5.0	\$3,000
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12.0 Financial Assurances

Financial Assurances for the project are:

Rule 5: Perimeter Control: 4,600 L.F. x \$2.50/L.F. =	\$11,500
Inlet Protection: 3 x \$100 =	\$300
Site Restoration: 6.7 acres x \$2,500/acre =	\$16,750
Rule 4: Stormwater Management Facility: 5,837 S.F. x \$12/S.F.=	\$70,044
Rule 3: Wetlands Management =	\$5,000
Contingency and Administration	\$44,506

Findings

1. The proposed project includes the information necessary, plan sheets and erosion control plan for review.
2. Rules 3, 4 and 5 will be met with the fulfillment of the conditions identified below.
3. The proposed stormwater management facility will provide volume retention, rate control and water quality management in accordance with subsections 4.3.1a-c criteria.
4. In accordance with NMCWD Rule 3.4.7, the wetland buffers must be documented by a declaration or other document approved by the district and recorded on the title to the property.
5. In accordance with NMCWD Rule 4.3.5, the applicant must provide a maintenance and inspection plan that identifies and protects the design, capacity and functionality of the stormwater management facilities.
6. An Environmental Assessment Worksheet (EAW) was required for the project. The City of Eden Prairie, being the Regulatory Governmental Unit (RGU) reviewing the completeness of the EAW, determined the EAW complete and approved the EAW on February 8, 2022.

Recommendation

Approval, contingent upon:

Continued compliance with the General Provisions (attached).

Financial Assurance in the amount of \$153,100, \$148,100 for stormwater management, erosion control, site restoration and wetlands management, and \$5,000 for compliance with the chloride management requirements.

Approval from the relevant City planning, or regulatory office or body.

The applicant providing a name and contact information for the individual responsible for the erosion and sediment control at the site. NMCWD must be notified if the responsible individual changes during the permit term.

Per Rules 4.3.5 and 3.4.5, a receipt showing recordation of a maintenance declaration for the operation and maintenance of the stormwater management facility and wetland buffers is required. A draft of the declaration must be approved by the district prior to recordation.

By accepting the permit, when issued, the applicant agrees to the following stipulations for closeout of the permit and release of the financial assurance after the project:

The work for the Blue Stem development under the terms of Permit 2021-143, if issued, must have an impervious surface area and configuration materially consistent with the approved plans. Design that differs materially from the approved plans (e.g., in terms of the total impervious area, buffer area, etc.) will need to be the subject of a request for a permit modification or new permit, which will be subject to review for compliance with all applicable regulatory requirements.

According to 7(b) of the Minnesota Wetland Conservation Act Declaration of Restrictions and Covenants for Site Specific Wetland Replacement recorded on 12/06/2007, Liberty Property Trust as the Declarant shall maintain native vegetative cover in these areas. This requirement

runs with the land and binds the Declarant, and Declarant's heirs, successors, and assigns. In accordance with the declaration, it is the responsibility of the new property owner to continue maintenance of native vegetative cover in the wetland replacement and wetland buffer areas to maintain compliance with WCA requirements.

In accordance with Rule 3.4.5, buffer markers are required at the limits of the wetland buffer on the site.

Per Rule 4.5.6, an as-built drawing of the stormwater management facility conforming to the design specifications, including a stage volume relationship in tabular form for the underground stormwater management facility, as approved by the district, must be provided.

Submission of a plan for post-project management of Chloride use on the site. The plan must include 1) the designation of an individual authorized to implement the chloride use plan and 2) the designation of a Minnesota Pollution Control Agency certified salt applicator engaged in the implementation of the chloride-use plan for the site. The release of the \$5,000 of the financial assurance required for the chloride-management plan requires that chloride-management plan has been provided and approved by the District's Administrator.

Per Rule 12.4.1b, demonstration and confirmation that the stormwater management facility has been constructed or installed and are functioning as designed and permitted. Verification, through daily observation logs and photographs, must be provided showing the stormwater management facility used for volume retention have drawn down within 48 hours from the completion of two 1-inch (approximate) separate rainfall events.

PRELIMINARY PLANS

FOR

EXISTING CONDITIONS, REMOVALS, SITE, GRADING, EROSION CONTROL, AND UTILITIES

FOR

BLUE STEM NORTH EDEN PRAIRIE, MN

PREPARED FOR:

GRECO REAL ESTATE DEVELOPMENT, LLC

607 WASHINGTON AVENUE NORTH

MINNEAPOLIS, MN, 55388

CONTACT: JOSH BRANDSTED

PHONE: 612-877-0998

EMAIL: JBRANDSTED@CHOOSEGRECO.COM

PREPARED BY:

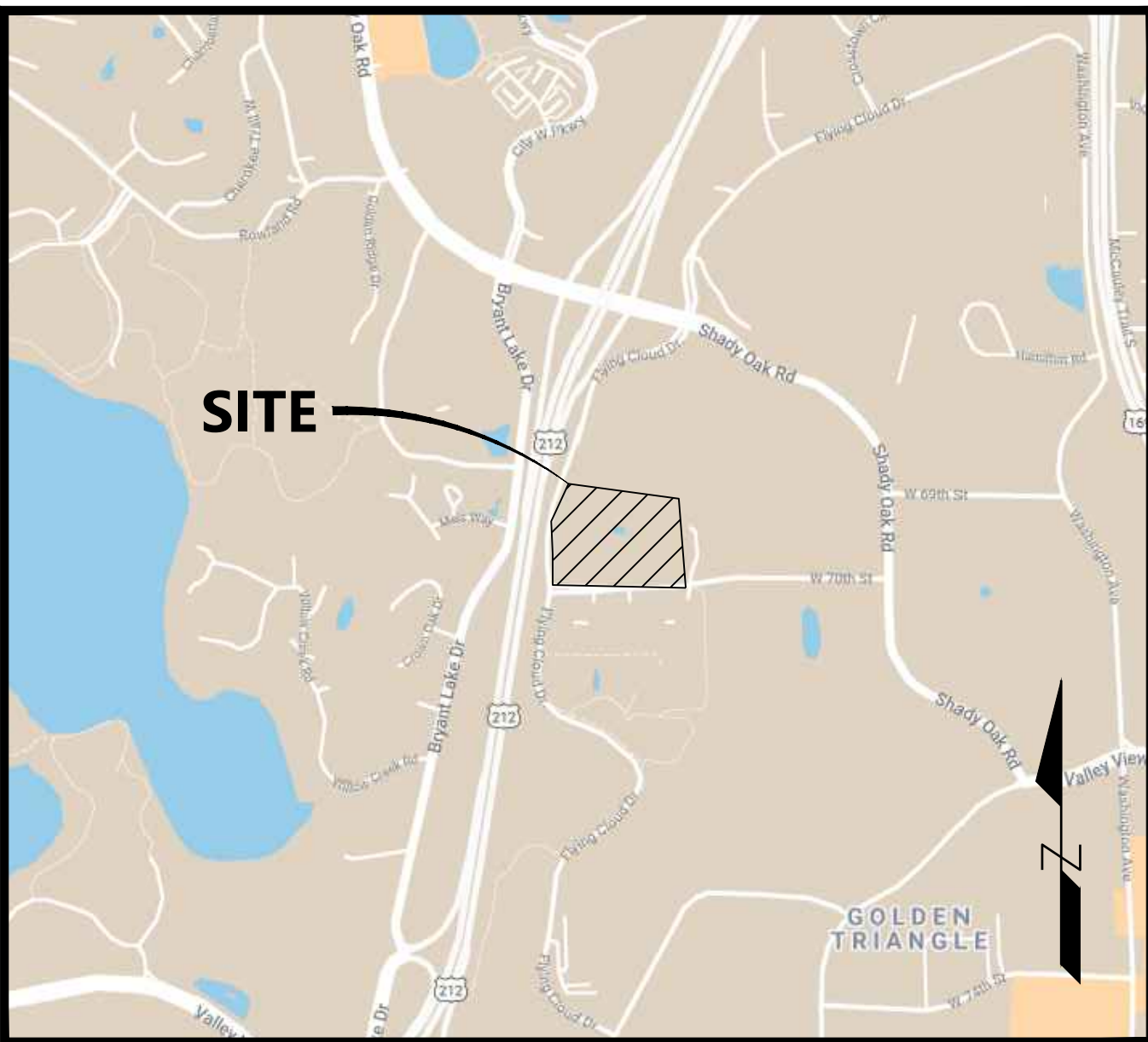
Westwood

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Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0031916.00

CONTACT: DAVID T. BADE



Vicinity Map
(NOT TO SCALE)

SHEET INDEX

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER
V100	ALTA/NSPS LAND TITLE SURVEY
C101	EXISTING CONDITIONS AND REMOVALS PLAN
C102	SIGNIFICANT TREE INVENTORY
C200	PRELIMINARY PLAT
C201	CIVIL SITE PLAN
C300	GRADING PLAN
C301	CUT-FILL PLAN
C400	EROSION CONTROL PLAN
C500	SANITARY AND WATER PLAN
C501	STORM WATER PLAN
C600	DETAILS
C601	DETAILS
C800	WETLAND BUFFER REQUIREMENTS
C801	PROPOSED WETLAND BUFFER PLAN
C802	CITY WETLAND BUFFER STRUCTURE SETBACK PLAN
C803	CONSERVATION EASEMENT PLAN

NO.	DATE	REVISION	SHEETS
	10/08/2021	CITY RESUBMITTAL	
	11/22/021	CITY RESUBMITTAL	
	12/02/20121	WATERSHED COMMENTS	
	12/17/2021	CITY COMMENTS	
	01/27/2022	CITY COMMENTS	
	02/17/2022	WATERSHED/CITY COMMENTS	

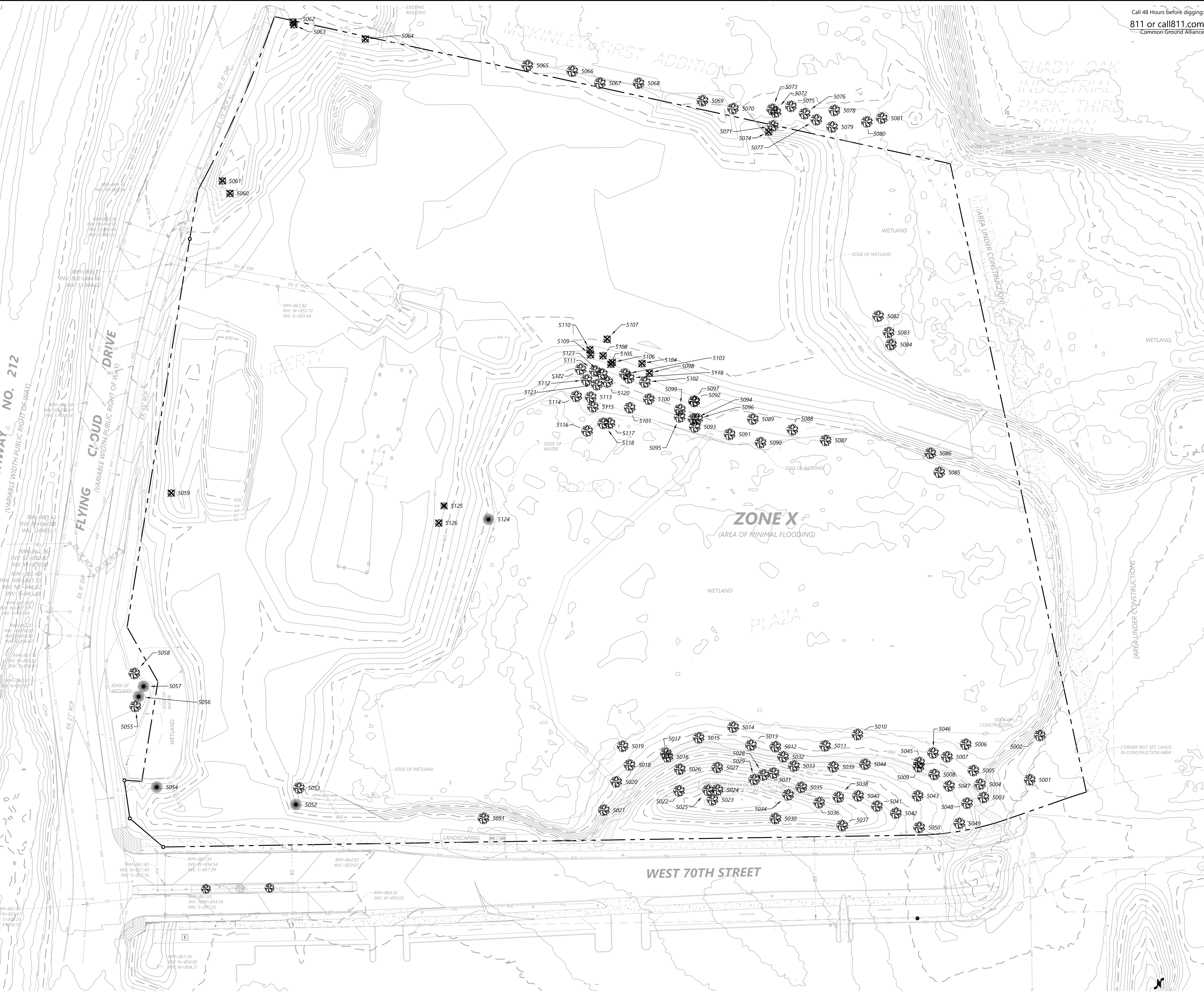
PRELIMINARY PLANS

FOR
EXISTING CONDITIONS, REMOVALS, SITE,
GRADING, EROSION CONTROL, AND UTILITIES
FOR

BLUE STEM NORTH
EDEN PRAIRIE, MN

INITIAL SUBMITTAL DATE: 08/23/2021 SHEET: C001 OF 17

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Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

TREE INVENTORY

TRF ID	DESCRIPTION	CAUPR	MODIFIER	MODIFIER	MODIFIER	IMPORTANCE	REMOVED
5001	CWD	21	x			s	
5002	CWD	12				s	
5003	BSW	17	x			s	
5004	BSW	15	x			s	
5005	BSW	13				s	
5006	BSW	14	x			s	
5007	ASH	15				s	
5008	BSW	15	x			s	
5009	BSW	18	x			s	
5010	BSW	16	x			s	
5011	BSW	18	x	pd		s	
5012	BSW	13	x			s	
5013	BSW	12	x			s	
5014	BSW	17	x			s	
5015	BSW	19	x			s	
5016	BSW	19	x			s	
5017	BSW	14	x			s	
5018	BSW	24	x			s	
5019	ASH	12	x			s	
5020	CHB	12				s	
5021	CWD	13				s	
5022	BSW	24	x			s	
5023	BSW	23				s	
5024	BSW	17	x			s	
5025	BSW	27	x			s	
5026	BSW	20	x			s	
5027	BSW	15				s	
5028	BSW	25				s	
5029	BSW	19	x			s	
5030	MPS	12				s	
5031	BSW	15	x			s	
5032	BSW	23	x			s	
5033	MPS	14				s	
5034	BSW	13	x			s	
5035	BSW	18				s	
5036	BSW	14	x			s	
5037	BSW	24				s	
5038	OKR	20	x			s	
5039	OKR	26	x			s	
5040	BSW	21	x			s	
5041	OKR	27				s	
5042	BSW	22	x			s	
5043	BSW	14				s	
5044	BSW	17	x			s	
5045	BSW	12				s	
5046	BSW	12				s	
5047	BSW	22	x			s	
5048	BSW	26	x			s	
5049	CHB	12				s	
5050	CHB	13				s	
5051	CWD	15				s	
5052	SPC	9				s	
5053	CWD	19				s	
5054	SPC	11				s	
5055	CWD	13			bd	s	
5056	SPC	11			bd	s	
5057	SPC	9			bd	s	
5058	CWD	25			bd	s	
5059	ASH	17				s	X
5060	BSW	16	x			s	X
5061	SPC	10				s	X
5062	CWD	16	x			s	X
5063	CWD	14	x			s	X
5064	BSW	26				s	X
5071	ASH	14				s	
5074	CWD	26				s	X
5082	CWD	24			bd	s	
5083	CWD	28			bd	s	
5084	ASH	13			bd	s	
5085	CWD	42			bd	h	
5086	CWD	16	x			s	
5087	CWD	21				s	
5088	CWD	15				s	
5089	CWD	21				s	
5090	CWD	24				s	
5091	CWD	21				s	
5092	CWD	24	x			s	
5093	CWD	32	x		bd	h	
5094	CWD	21	x			s	
5095	CWD	16				s	
5096	CWD	14	x			s	
5097	CWD	29				s	
5098	CWD	21	x			s	X
5099	CWD	24				s	
5100	CWD	17				s	
5101	CWD	22				s	
5102	CWD	19				s	
5103	CWD	14				s	
5104	CWD	14				s	X
5105	CWD	20				s	X
5106	CWD	14				s	X
5107	CWD	16				s	X
5108	CWD	14				s	X
5109	CWD	22				s	X
5110	CWD	17				s	X
5111	CWD	13		pd		s	
5112	CWD	19				s	
5113	CWD	20				s	
5114	CWD	13				s	
5115	CWD	23			bd	s	
5116	CWD	19			bd	s	
5117	CWD	18			bd	s	
5118	CWD	19				s	
5119	CWD	21				s	
5120	CWD	13				s	
5121	CWD	14				s	
5122	CWD	13				s	
5123	CWD	20				s	
5124	CWD	12				s	X
5125	CWD	12				s	X
5126	CWD	13				s	X

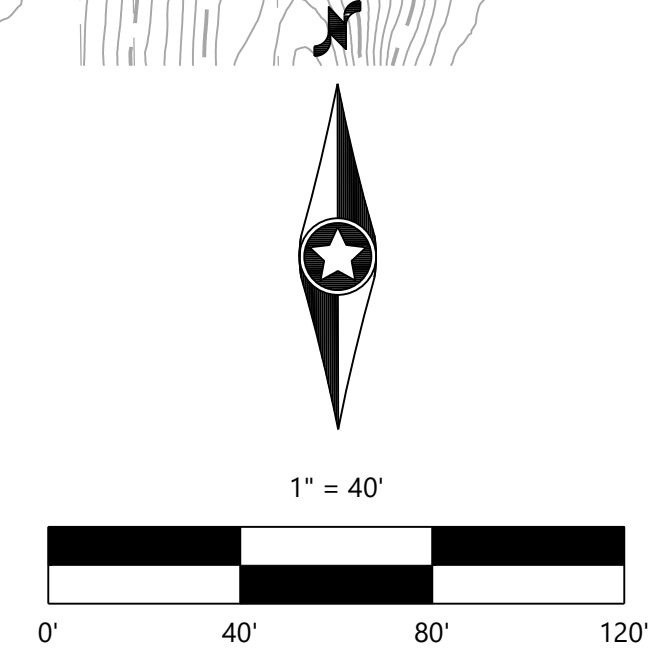
TOTAL TREES ON SITE: 1,984 CAL. IN.
TOTAL TREES TO BE REMOVED: 288 CAL. IN.

REMOVAL LEGEND

EXISTING	REMOVALS	
		DECIDUOUS TREE
		DECIDUOUS TREE

CODE LEGEND

CODE	SPECIES	MODIFIER LEGEND
ASH	Green & White Ash	x Multi-trunked
BSW	Basswood	pd physically damaged (e.g. tornado, wind/ice storm)
CHB	Black Cherry	bd biologically damaged (e.g. insects, fungal, bacterial)
CWD	Cottonwood	s Significant Tree: Any living deciduous tree (except elm, willow, box elder and aspen) measuring at least 12 and less than 32 inches in diameter, or a living coniferous tree measuring at least 8 and less than 24 inches in diameter.
MPS	Sugar Maple	h Heritage Tree: Any living deciduous tree (except cottonwood, elm, willow, box elder and aspen) measuring 32 inches in diameter or greater, or a living coniferous tree measuring 24 inches in diameter or greater.
MPV	Silver Maple	
OKR	Red Oak	
SPC	Colorado Spruce	



NOT FOR CONSTRUCTION

DESIGNED:	08/23/2021
CHECKED:	11/22/2021
DRAWN:	12/02/2021
APPROVED:	12/17/2021
DATE:	02/27/2021

PREPARED FOR:
GRECO REAL ESTATE DEVELOPMENT, LLC
607 WASHINGTON AVENUE NORTH
MINNEAPOLIS, MN 55488

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMplies WITH ALL LAWS OF THE STATE OF MINNESOTA.
DAVID T. BADE
DATE: 02/27/2021 LICENSE NO. .

BLUE STEM NORTH
EDEN PRAIRIE, MN

Westwood
Professional Services, Inc.
12701 Whitehawk Drive, Suite B200
Minneapolis, MN 55443
(612) 837-5160
(612) 837-5822
Fax: (612) 837-5822
www.westwoodps.com

SIGNIFICANT TREE INVENTORY

SHEET NUMBER:

C102

DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH

US HIGHWAY NO. 212
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

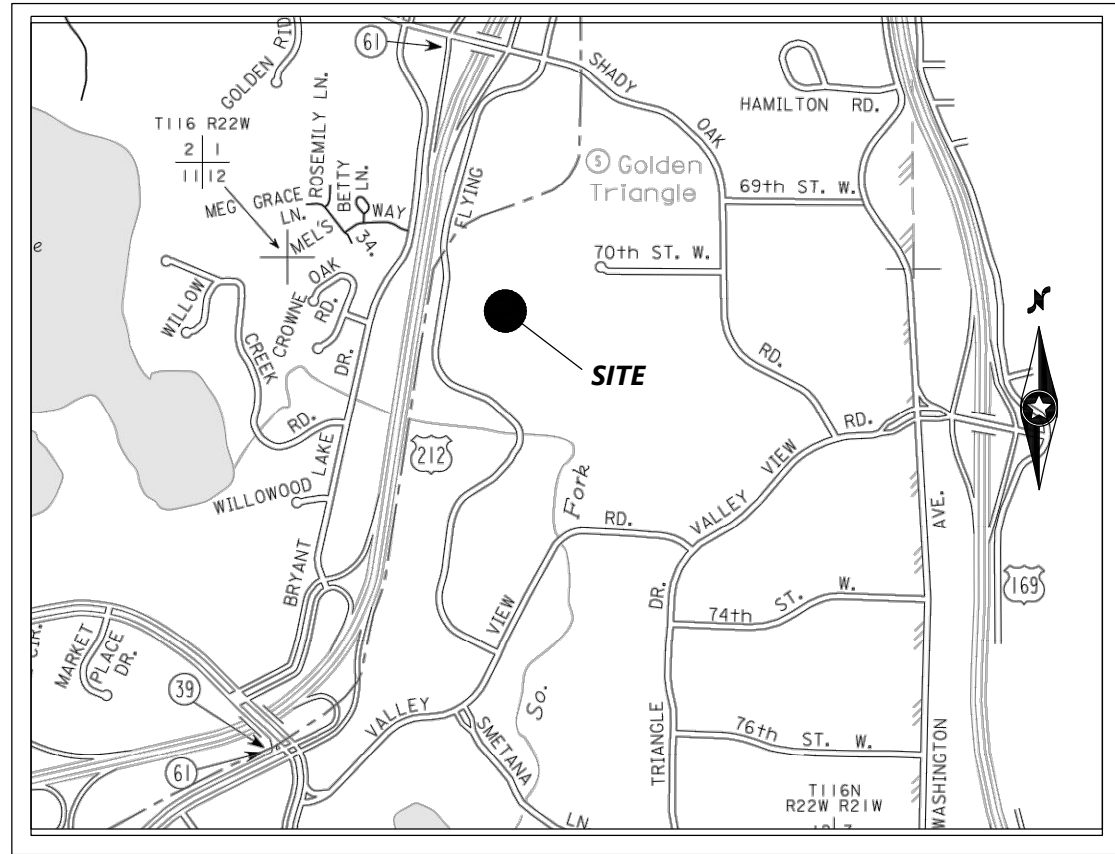
FLYING CLOUD DRIVE
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

MCKINLEY FIRST ADDITION

SHADY OAK INDUSTRIAL PARK THIRD ADDITION

VICINITY MAP

(NOT TO SCALE)



LOT AREA CHART

LEGAL DESCRIPTION	LOT AREA (ACRE)
LOT 1	3.61 AC.
LOT 2	2.18 AC.
OUTLOT A	9.49 AC.
OUTLOT B	1.68 AC.
TOTAL	16.96 AC.

LEGAL DESCRIPTION (PER TITLE COMMITMENT NO. 58693)

Lot 1, Block 1, and Outlot A, Liberty Plaza, except that part which lies northeasterly of Line 2 described below and also lies Southwesterly and Southeasterly of Line 4 described below.

Line 2: Commencing at the Northeast corner of said Outlot A; thence Westerly on an azimuth of 273 degrees 14 minutes 16 seconds along the North line of said Outlot A a distance of 341.50 feet to an angle point in the North line of said Outlot A; thence on an azimuth of 282 degrees 16 minutes 45 seconds along said North line of Outlot A a distance of 6.01 feet to the point of beginning of line 2 to be described; thence on an azimuth of 167 degrees 46 minutes 59 seconds 657.56 feet to the South line of said Lot 1, Block 1, Liberty Plaza, and there terminating.

Line 4: Commencing at the Northeast corner of said Outlot A; thence Westerly on an azimuth of 273 degrees 14 minutes 16 seconds along the North line of said Outlot A a distance of 280.09 feet to the point of beginning of line 4 to be described; thence on an azimuth of 166 degrees 18 minutes 39 seconds 261.20 feet; thence on an azimuth of 77 degrees 47 minutes 12 seconds 8.00 feet; thence on an azimuth of 167 degrees 46 minutes 59 seconds 81.38 feet; thence on an azimuth of 77 degrees 46 minutes 59 seconds 171.98 feet; thence Northwesterly 53.98 feet on a non-tangential curve, concave to the Northwest, having a radius of 39.00 feet, a delta angle of 79 degrees 18 minutes 21 seconds and a chord azimuth of 38 degrees 13 minutes 26 seconds to the East line of said Outlot A and there terminating.

Hennepin County, Minnesota
Torrens Property

SURVEYOR'S NOTES

- This survey was prepared using Stewart Title Guaranty Company, Title Commitment Numbers 58693 all having effective dates of May 20, 2021at 7:00 A.M.
- The address of the surveyed property is 6901 Flying Cloud Drive, Eden Prairie, MN.
- Subject property contains 738,704 Sq. Ft. or 16.96 acres.
- According to the zoning report provided the subject property is currently zoned OFC (Office District).
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities, (Gopher One Call ticket number: 211534957)
- Bearings based on the Hennepin County coordinate system, (NAD 83 - 1986 Adjustment)
- Edge of delineated wetland per wetland delineation report by environmental scientist, Robert Cress with Westwood Professional Services, dated 08/16/19.

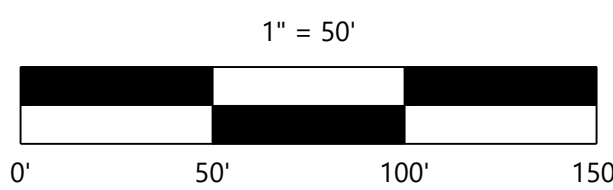
EXCEPTIONS (PER TITLE COMMITMENT NO. 58693)

The following notes correspond to the numbering system of Schedule B, Section II of the above mentioned title commitment.

- Mortgage, Security Agreement, Future Financing Statement and Assignment of Leases and Rents dated October 1, 2019, filed October 2, 2019, as Document No. T05649253, executed by Golden Triangle Station LLC, a Delaware limited liability company, as mortgagee, to First Western Bank & Trust, a North Dakota state banking corporation, as mortgagee, in the original principal amount of \$18,000,000.00. (Includes additional land) **(NOT PLOTTABLE)**
- The following appears as a recital on the Certificate of Title. While the Company will affirmatively insure against loss or damage sustained by the insured arising as a result of this matter affecting title to the Land, neither Commercial Partners Title, a division of Chicago Title Company, LLC nor Stewart Title Guaranty Company will undertake to have the recital removed from the Certificate of Title.
 - Subject to temporary easements for transportation purposes, in favor of the Metropolitan Council, that expire December 1, 2020, over Parcel No. 302, as contained in Order dated December 19, 2017, filed June 7, 2018, as Document No. T05536596 (per Examiner's Directive Document No. T05663646). **(EXPIRED TEMPORARY EASEMENT NOT SHOWN, AREA TAKEN IN FEE SHOWN ON SURVEY)**
- Easements for utilities and drainage as shown on the recorded plat of Liberty Plaza. **(SHOWN ON SURVEY)**
- Terms and conditions of Declaration of Covenants, Conditions and Restrictions dated November 14, 1997, filed December 31, 1998, as Document No. 3104434. **(NOT PLOTTABLE)**
- Terms and conditions of and easements contained in Conservation/Scenic Easement, in favor of the City of Eden Prairie, dated November 14, 1997, filed December 31, 1998, as Document No. 3104435. Amended by Amendment to Conservation/Scenic Easement dated February 12, 2006, filed February 29, 2008, as Document No. 4473925. **(SHOWN ON SURVEY)**
- Terms and conditions of Development Agreement for Liberty Plaza dated October 16, 2007, filed November 14, 2007, as Document No. 4446150, and re-filed August 27, 2015, as Document No. T05385551. **(SHOWN ON SURVEY)**
- Covenants, conditions, and restrictions contained in Minnesota Wetland Conservation Act Declaration of Restrictions and Covenants for Site Specific Wetland Replacement dated November 29, 2007, filed December 6, 2007, as Document No. 4452128. **(SHOWN ON SURVEY)**
- Covenants, conditions, and restrictions contained in Minnesota Wetland Conservation Act Declaration of Restrictions and Covenants for Site Specific Wetland Replacement dated November 29, 2007, filed December 6, 2007, as Document No. 4452129. **(SHOWN ON SURVEY)**
- Terms and conditions of Agreement Regarding Special Assessments Flying Cloud Drive Liberty Plaza dated December 20, 2007, filed April 11, 2008, as Document No. 4486376. **(NOT PLOTTABLE)**
- Terms and conditions of Agreement Regarding Special Assessments West 70th Street Liberty Plaza dated December 20, 2007, filed April 11, 2008, as Document No. 4486377. **(NOT PLOTTABLE)**
- The following appears as a memorial on the Certificate of Title. While the Company will affirmatively insure against loss or damage sustained by the insured arising as a result of this matter affecting title to the Land, neither Commercial Partners Title, a division of Chicago Title Company, LLC nor Stewart Title Guaranty Company will undertake to have the material removed from the Certificate of Title.
 - Declaration dated June 3, 2019, filed June 6, 2019, as Document No. T05618831. **(SHOWN ON SURVEY)**
- Terms and conditions of and easements contained in Temporary Construction Easement Agreement dated September 14, 2020, filed September 15, 2020, as Document No. T5746358. Temporary construction easement expires December 1, 2023. **(SHOWN ON SURVEY)**

LEGEND

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- PROPOSED LOT LINE
- EASEMENT LINE
- SECTION LINE
- FOUND MONUMENT (SEE LABEL)
- SET 1/2" IRON PIPE L555343



OWNER:

Golden Triangle Station LLC
275 Market Street, Suite 184
Minneapolis, MN 55405

SURVEYOR/ENGINEER

Westwood Professional Services, Inc.
3701 12th Street North, Suite 206
St. Cloud, Minnesota 56302

PID

0111622340028

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Christopher R. Foley
DATE: 08/09/21 LICENSE NO. 55343

DESIGNED: _____
CHECKED: N.A.S.
DRAWN: T.W.B.
HORIZONTAL SCALE: 50'
VERTICAL SCALE: _____

INITIAL ISSUE: 08/23/2021
REVISIONS:
11/19/2021 - Update property line, ACW

PREPARED FOR:

GRECO REAL ESTATE DEVELOPMENT, LLC

MINNEAPOLIS, MN

BLUE STEM NORTH

EDEN PRAIRIE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite 8300
Fax (952) 937-5822 Minneapolis, MN 55343
Toll-free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

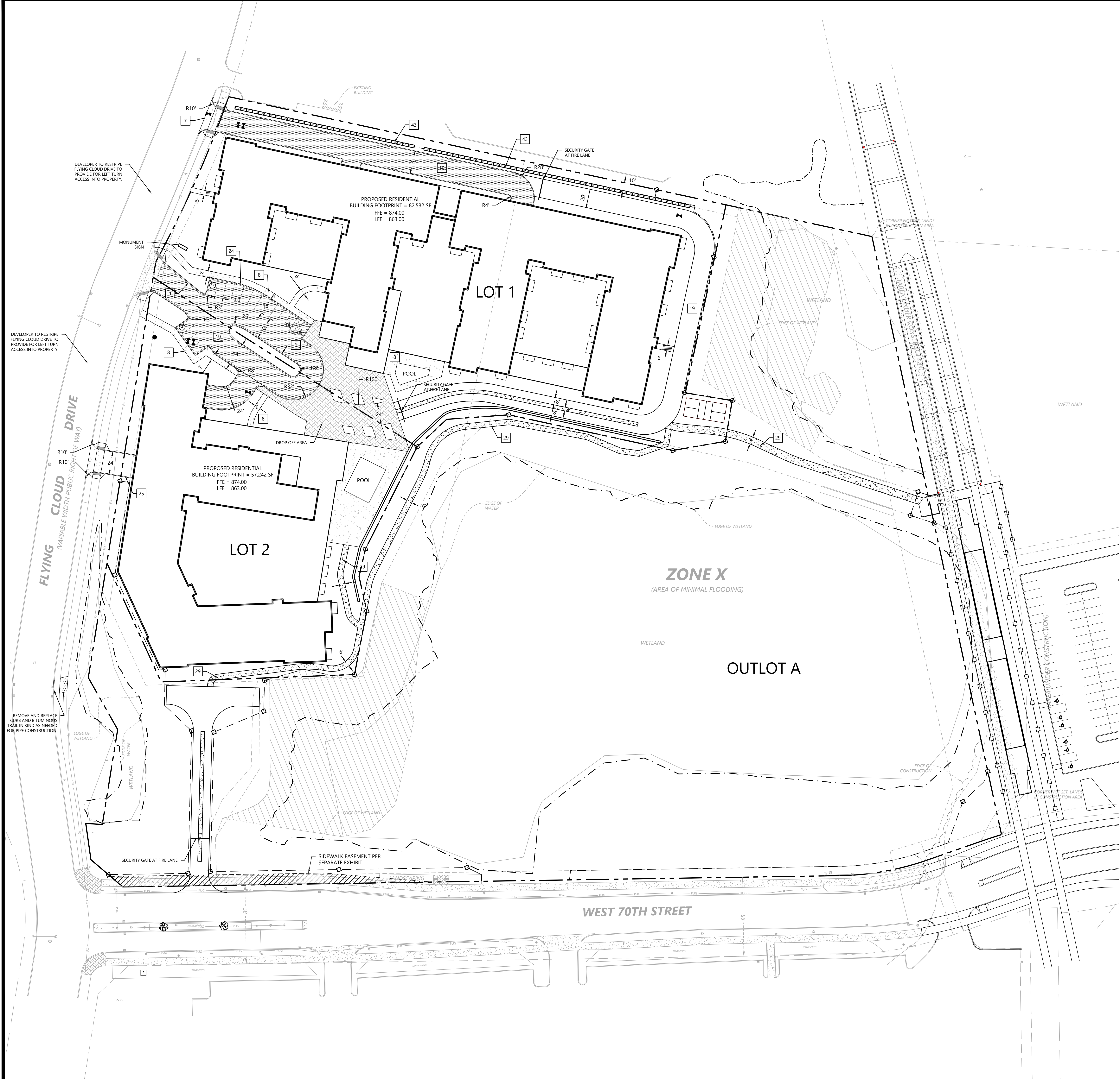
PRELIMINARY PLAT
GOLDEN TRIANGLE TOD

PROJECT NUMBER: 0031916.00

SHEET NUMBER:

C200

DATE: 08/23/2021



SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		CONCRETE PAVERS
		CRUSHED AGGREGATE SURFACE
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 06/18/2021.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

1 SITE DETAILS (SI-0XX)

- B612 CURB AND GUTTER
- ENTRANCE THRU CURB AND GUTTER
- PRIVATE CONCRETE SIDEWALK
- PUBLIC PEDESTRIAN CURB RAMP
- PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- SIGN INSTALLATION
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
- HEAVY DUTY CONCRETE SECTION
- CONCRETE CURB AT SIDEWALK
- CURB CUT WITH EROSION CONTROL MAT
- PERVIOUS TRAIL SECTION
- RETAINING WALL WITH FENCE USING SLEEVE-IT SYSTEM

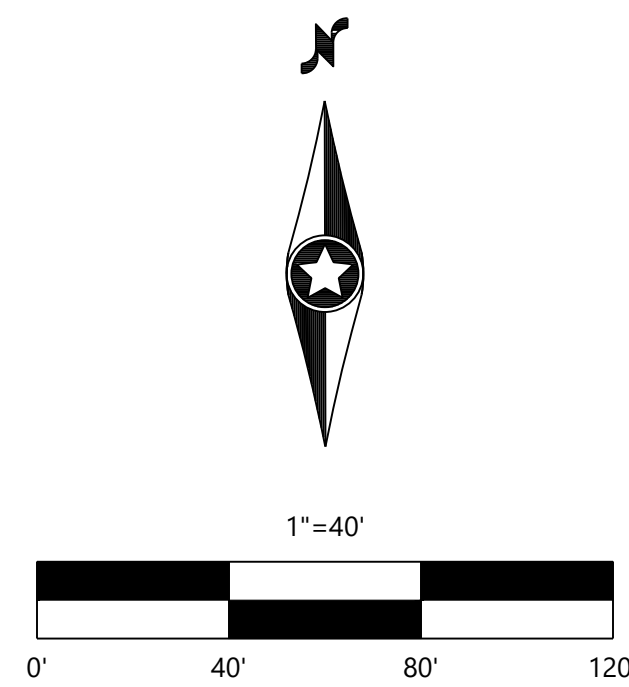
SITE DEVELOPMENT SUMMARY

- ZONING: TOD-R, TRANSIT ORIENTED DEVELOPMENT (RESIDENTIAL)
- PARCEL DESCRIPTION: SEE PLAT
- PROPERTY AREA: 665,414 SF (15.28 AC)
- MINIMUM BUILDING SETBACK PER CODE: 0'-FRONT (20' MAX.)
10'-SIDE / 0'-SIDE TO ROW
20'-REAR
- PARKING SPACE/DRIVE AISLE: 9' WIDE X 18' LONG, 24' AISLE

REFER TO SHEETS A101 AND A102 FOR ADDITIONAL SITE DEVELOPMENT INFORMATION

SITE DATA CHART

LEGAL DESCRIPTION	PROPOSED USE	LOT AREA SF (ACRE)	PERVIOUS AREA - SF (%)	IMPERVIOUS AREA - SF (%)
LOT 1	MULTI-FAMILY RESIDENTIAL	157,102 SF (3.61 AC.)	31,075 SF (19.8%)	126,027 SF (80.2%)
LOT 2	MULTI-FAMILY RESIDENTIAL	94,961 SF (2.18 AC.)	16,974 SF (17.9%)	77,987 SF (82.1%)
OUTLOT A		413,351 SF (9.49 AC.)	400,760 SF (97.9%)	12,591 SF (3.0%)
TOTAL		665,414 SF (15.28 AC.)	448,809 SF (67.4%)	216,785 SF (32.6%)



NOT FOR CONSTRUCTION

DESIGNED:	08/23/2021	CITY RESUBMITTAL
CHECKED:	11/22/2021	WATERSHED COMMENTS
DRAWN:	12/02/2021	CITY COMMENTS
CONSENTED:	12/17/2021	CITY COMMENTS
VERTICAL SCALE:	0.01" = 1'	WATERSHED CITY COMMENTS

PREPARED FOR:
GRECO REAL ESTATE DEVELOPMENT, LLC
607 WASHINGTON AVENUE NORTH
MINNEAPOLIS, MN 55388

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IN ACCORDANCE WITH THE ENGINEERING AND SURVEYING LAWS OF THE STATE OF MINNESOTA.
DAVID T. BADE
DATE: 02/27/2021 LICENSE NO. 1

BLUE STEM NORTH
EDEN PRAIRIE, MN

Westwood
12701 Whitewater Drive, Suite #300
Minnetonka, MN 55345
Phone: (952) 837-2510
Fax: (952) 837-2822
www.westwoodpro.com
Westwood Professional Services, Inc.

CIVIL SITE PLAN

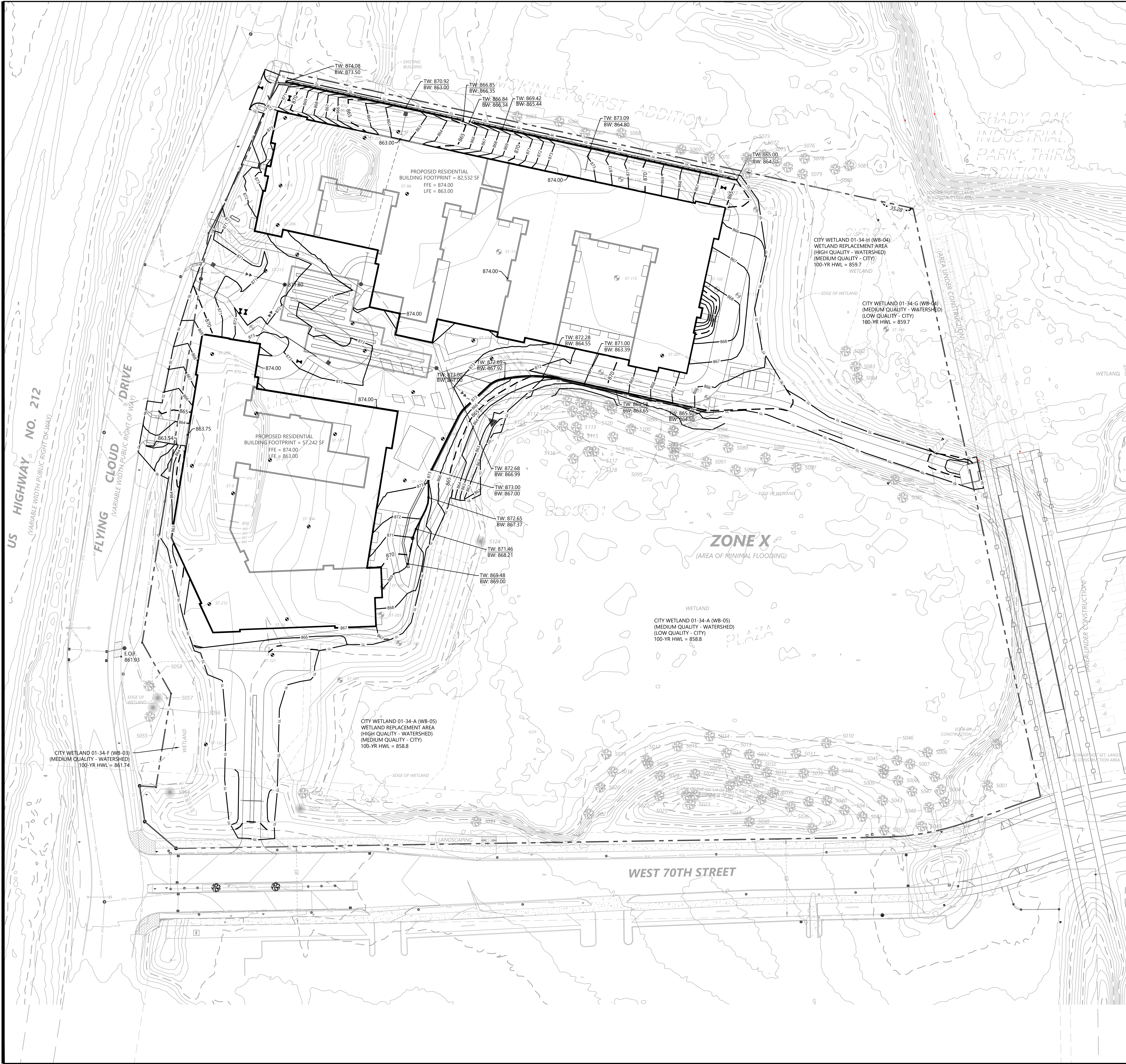
SHEET NUMBER:

C201

DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH



EXISTING

PROPOSED

- PROPERTY LINE
- INDEX CONTOUR
- INTERVAL CONTOUR
- CURB AND GUTTER
- POND NORMAL WATER LEVEL
- STORM SEWER
- FLARED END SECTION (WITH RIPRAP)
- WATER MAIN
- SANITARY SEWER
- RETAINING WALL
- DRAIN TILE
- RIDGE LINE
- GRADING LIMITS
- SPOT ELEVATION
- FLOW DIRECTION
- TOP AND BOTTOM OF RETAINING WALL
- EMERGENCY OVERFLOW
- SOIL BORING LOCATION

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO TRENCH/EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIRECTIONS OF VESTIBLES, SLOPED SIDEWALKS, CURBS, PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNPOUTS.
3. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF TRAFFIC DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
6. ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
7. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
8. **SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
9. SEE SLOIS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
14. EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.31F AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
15. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.31F.
16. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

 $1'' = 40'$ 

NOT FOR CONSTRUCTION

INITIAL ISSUE	08/23/2021	DESIGNED:	
REVISIONS		CHECKED:	
1	11/22/2021 CITY RESUBMITTAL	DRAWN:	
2	12/02/2021 WATERSEED COMMENTS	HORIZONTAL SCALE	###
3	12/17/2021 CITY COMMENTS	VERTICAL SCALE	### @ 1" = 1'
4	01/07/2022 CITY COMMENTS		
5	02/27/2022 WATERSEED CITY COMMENTS		

PREPARED FOR:

**GRECO REAL ESTATE
DEVELOPMENT, LLC**
607 WASHINGTON AVENUE NORTH

BLUE STEM NORTH

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minneapolis, MN 55343
Toll Free (888) 937-5150 westwoodpt.com

Westwood Professional Services, Inc.

GRADING PLAN

SHEET NUMBER:

C300

DATE: 02/27/2021

BLUE STEM NORTH

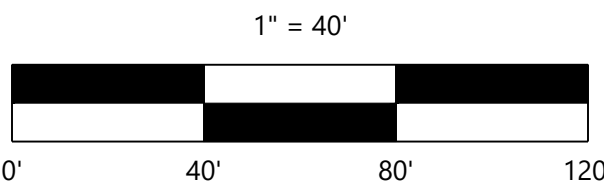


EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION

GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC. REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
3. EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
6. WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
7. ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH. SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
8. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - A. TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - B. TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
 - C. INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - D. POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - E. GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - F. MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
9. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
10. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
11. ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
13. THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
14. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.



NOT FOR CONSTRUCTION

DESIGNED:	08/23/2021	CITY RESUBMITTAL
CHECKED:	12/22/2021	WATERSHED COMMENTS
DATE:	12/22/2021	CITY COMMENTS
SCALE:	1/2" = 40'	CITY COMMENTS
SCALE:	1/2" = 40'	CITY COMMENTS

PREPARED FOR:
GRECO REAL ESTATE DEVELOPMENT, LLC
607 WASHINGTON AVENUE NORTH
MINNEAPOLIS, MN 55388

DESIGNED BY:
DAVID T. BADE
DATE: 02/27/2021
LICENSE NO.:

BLUE STEM NORTH
EDEN PRAIRIE, MN

Westwood
12701 Whitehawk Drive, Suite E200
Minneapolis, MN 55443
(612) 837-2622
Fax: (612) 837-2622
www.westwoodpro.com
Westwood Professional Services, Inc.

EROSION CONTROL PLAN

SHEET NUMBER:

C400

DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		CURB AND GUTTER
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		LIGHT POLE

**GRECO REAL ESTATE
DEVELOPMENT, LLC**
607 WASHINGTON AVENUE NORTH

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF KANSAS.

DAVID T. BADE
DATE: 02/27/2021 LICENSE NO.

BLUE SIEM NURIH
EDEN PRAIRIE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

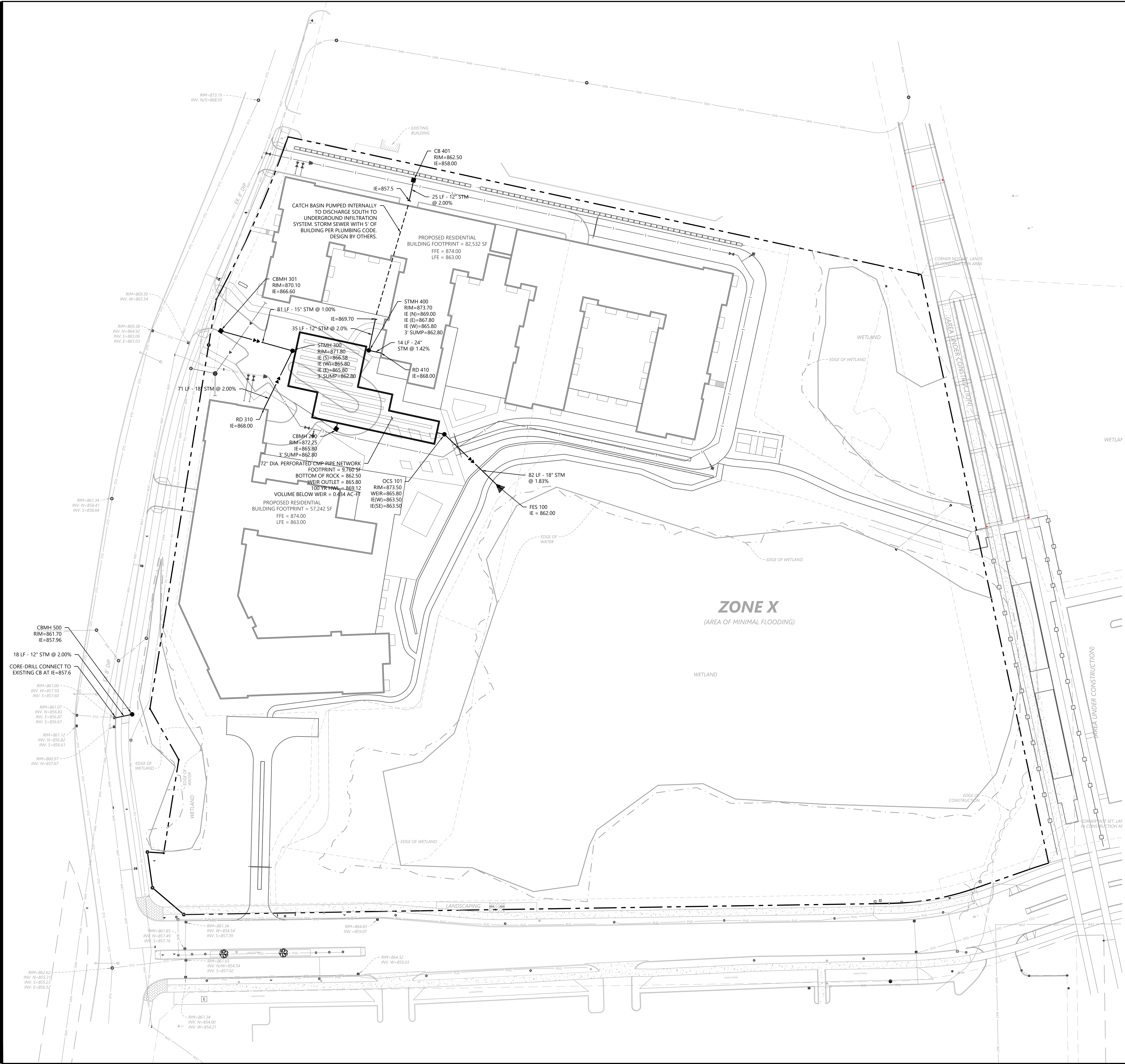
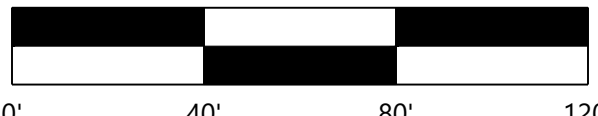
STORM WATER PLAIN

SHEET NUMBER:

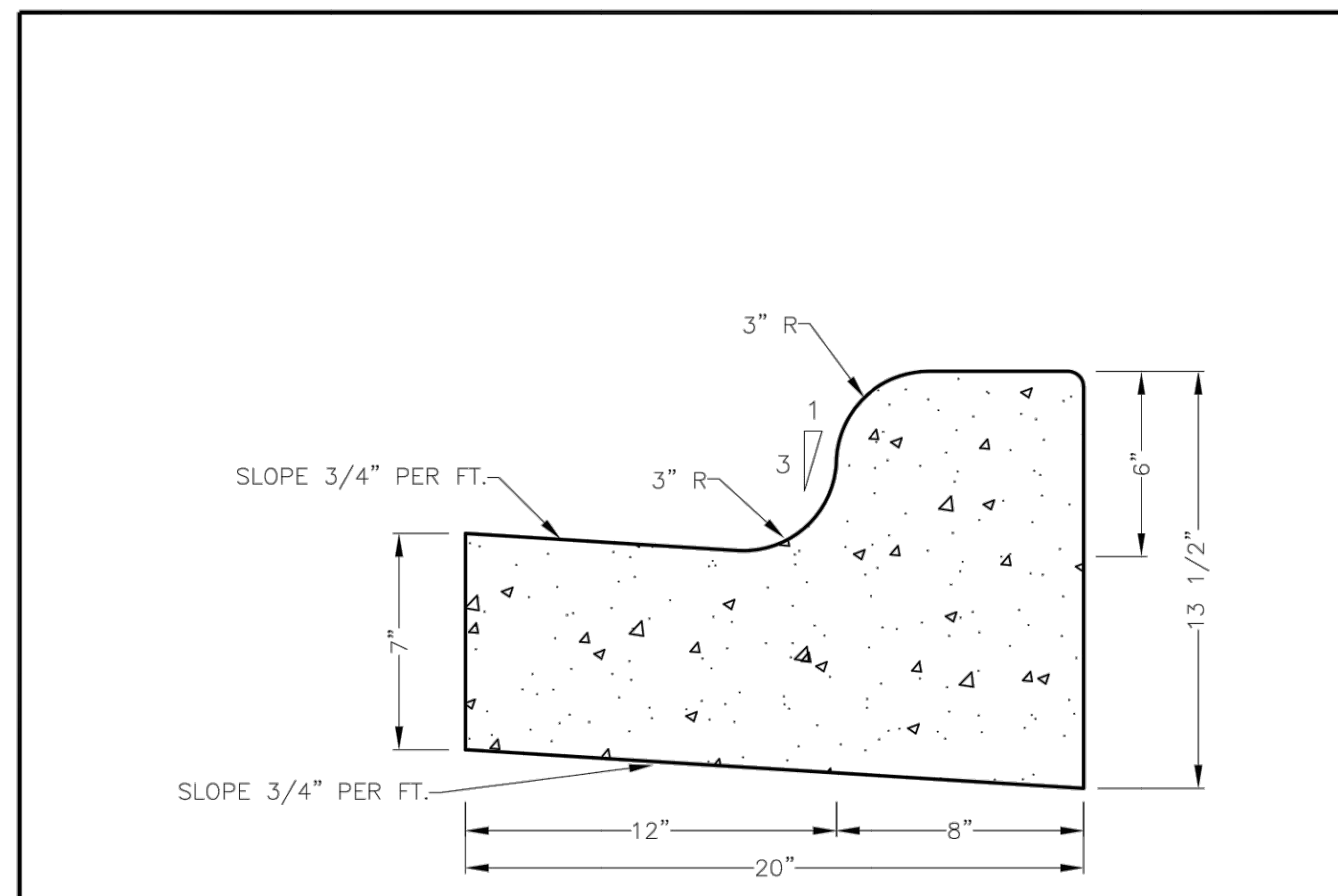
C501

DATE: 02/27/2021

BLUE STEM NORTH

 $1'' = 40$ 

NOT FOR CONSTRUCTION



B612 Concrete	
Cu. Yds per L/F	L/F per Cu. Yd.
0.0474	21.1

NOTE: EXPANSION JOINT SPACING: 100'

1-98

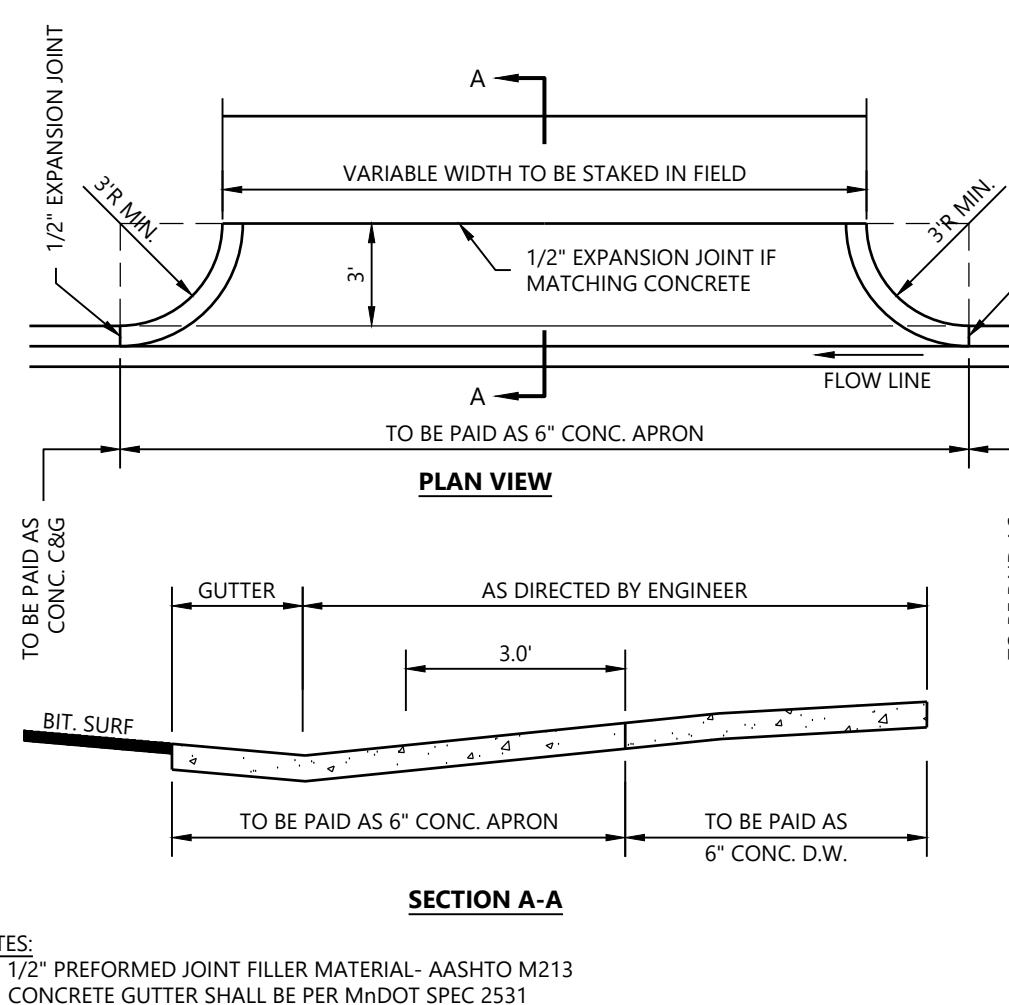


CITY OF EDEN PRAIRIE, MINNESOTA

B612 CURB AND GUTTER DETAILS

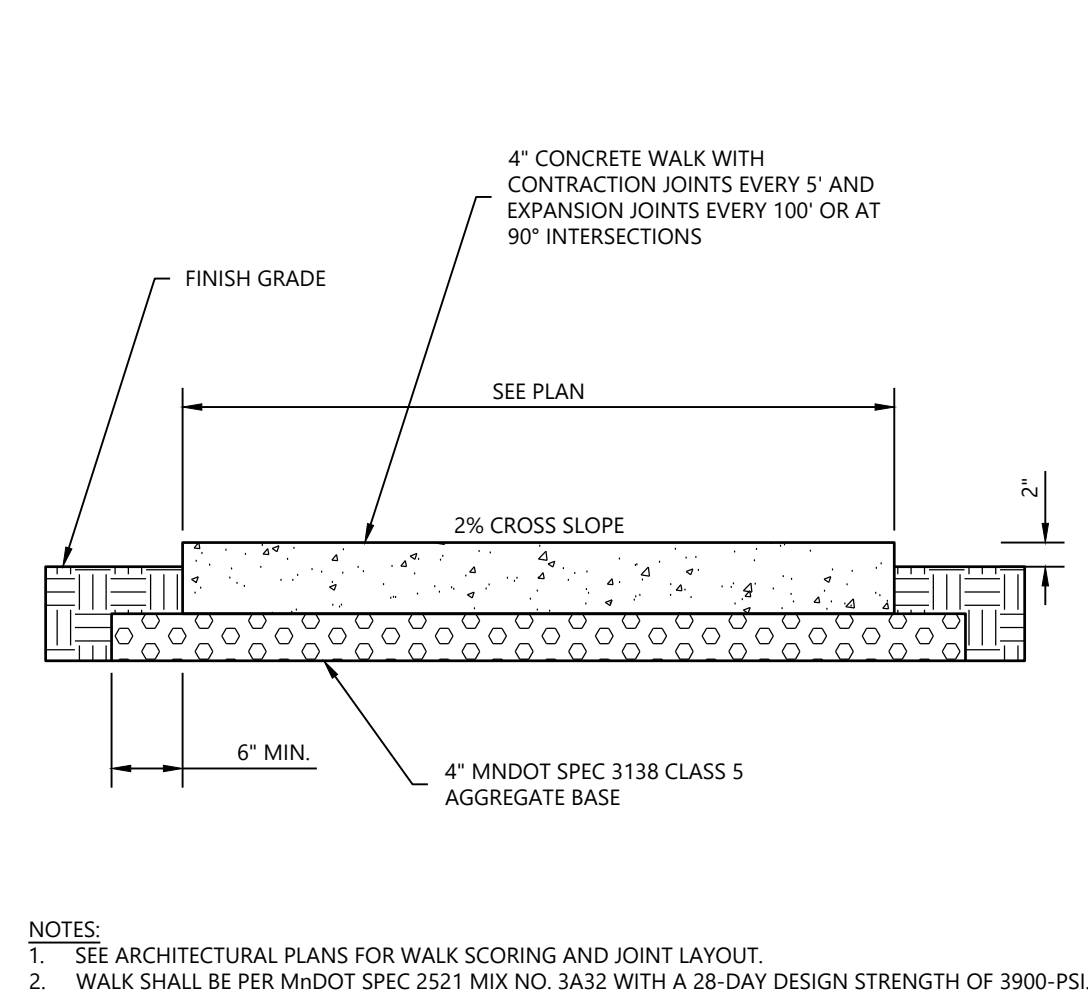
DEPARTMENT OF ENGINEERING

R-9



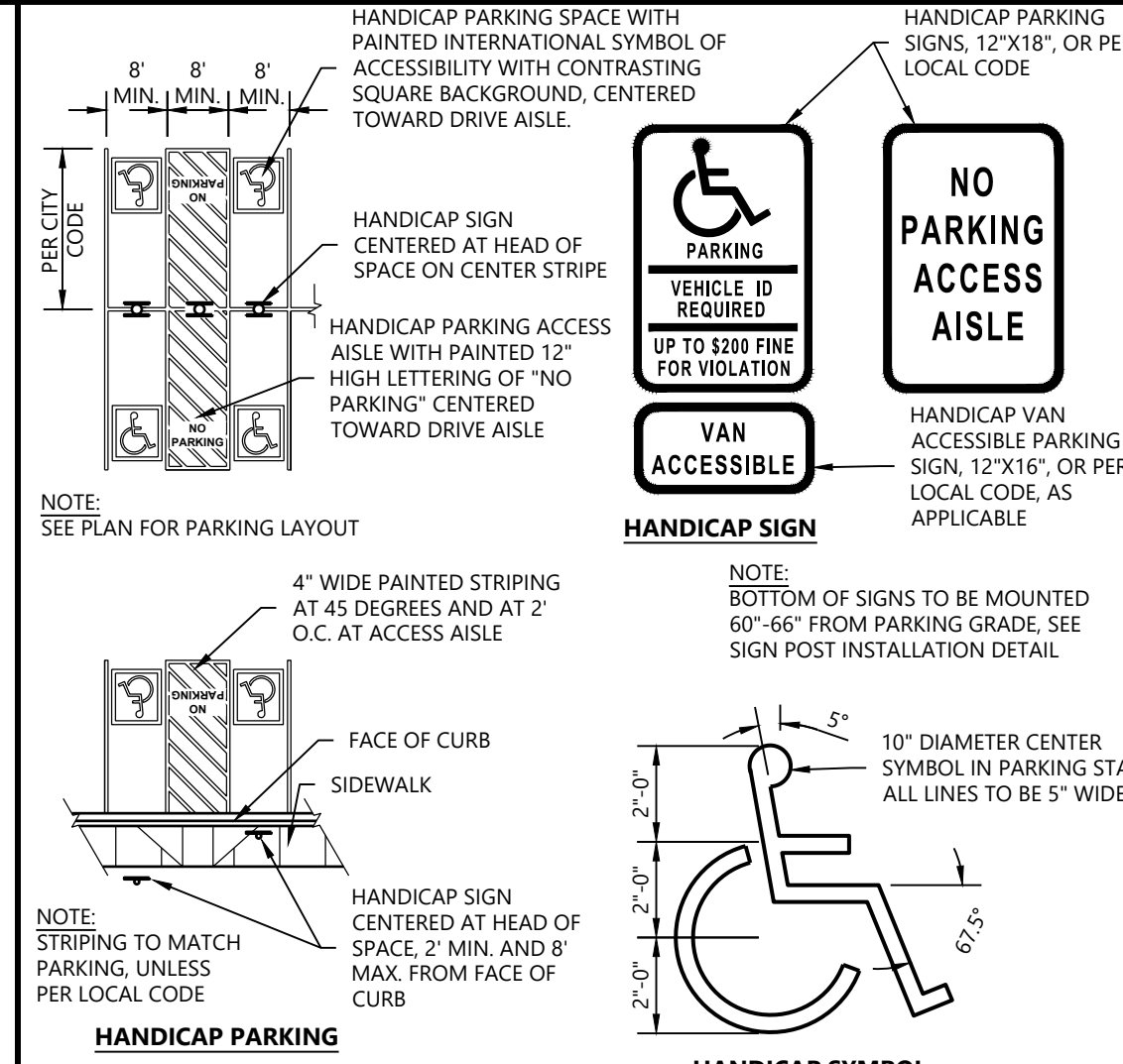
NOTES:

1. 1/2" PERFORMED JOINT FILLER MATERIAL- ASHTO M213
2. CONCRETE GUTTER SHALL BE PER MNDOT SPEC 2351



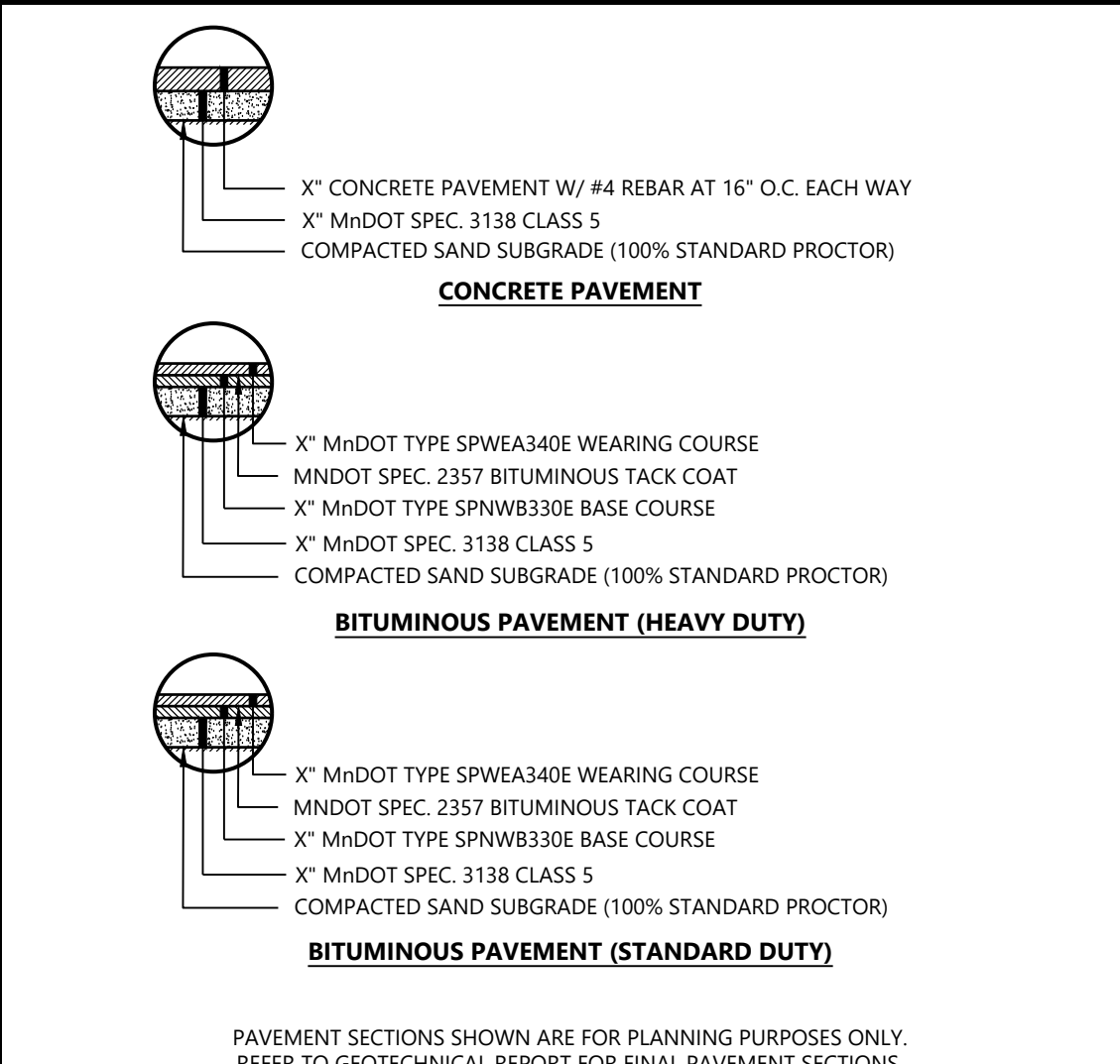
NOTES:

1. SEE ARCHITECTURAL PLANS FOR WALK SCORING AND JOINT LAYOUT.
2. WALK SHALL BE PER MNDOT SPEC 2521 MIX NO. 3432 WITH A 28-DAY DESIGN STRENGTH OF 3900 PSI.



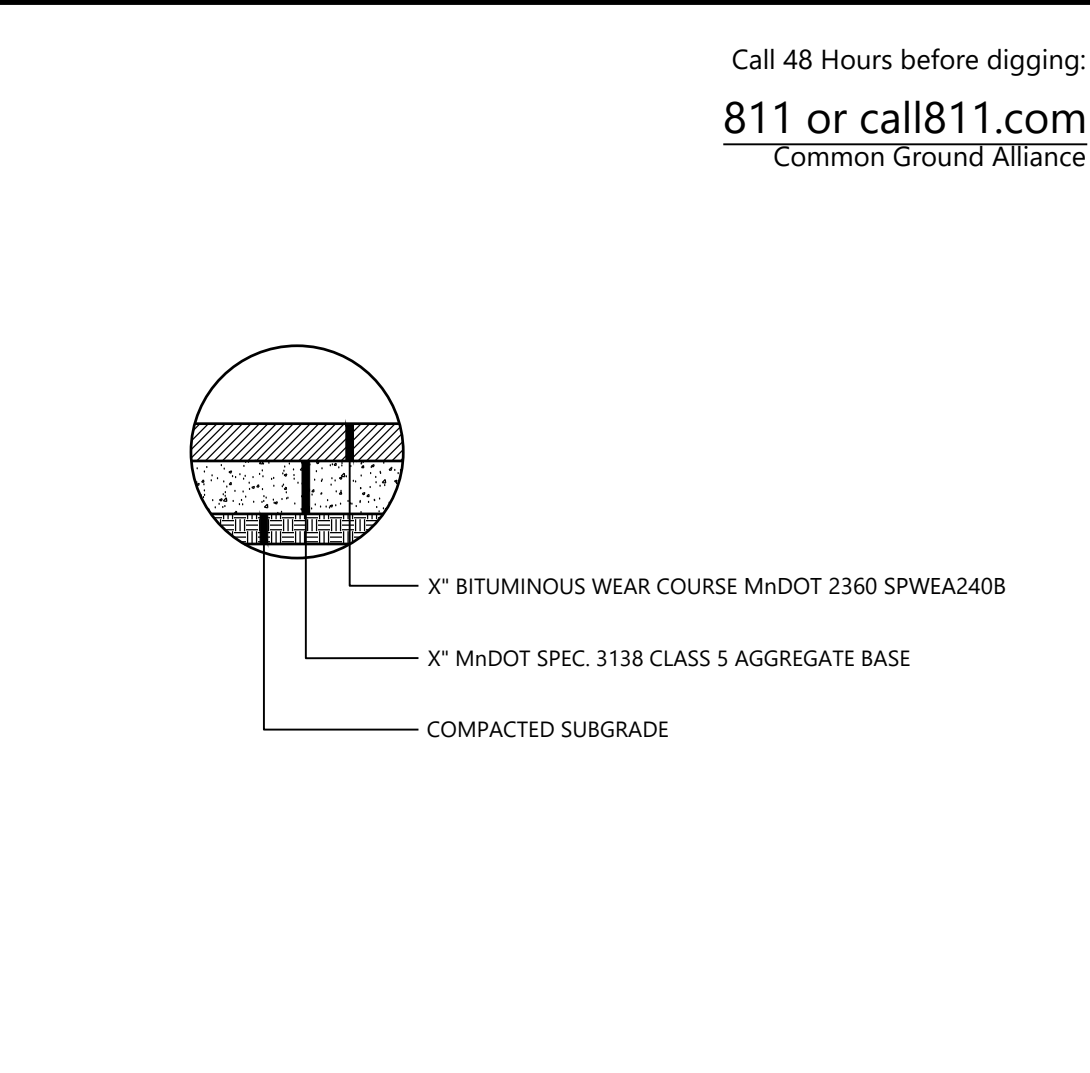
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Westwood

ENTRANCE THRU CURB AND GUTTER

LAST REVISED: 08/15/17

SI07

Westwood

PRIVATE CONCRETE SIDEWALK

LAST REVISED: 08/15/17

SI08

Westwood

HANDICAP ACCESSIBLE SIGNAGE AND STRIPING

LAST REVISED: 08/15/17

SI15

Westwood

PAVEMENT SECTIONS

LAST REVISED: 08/15/17

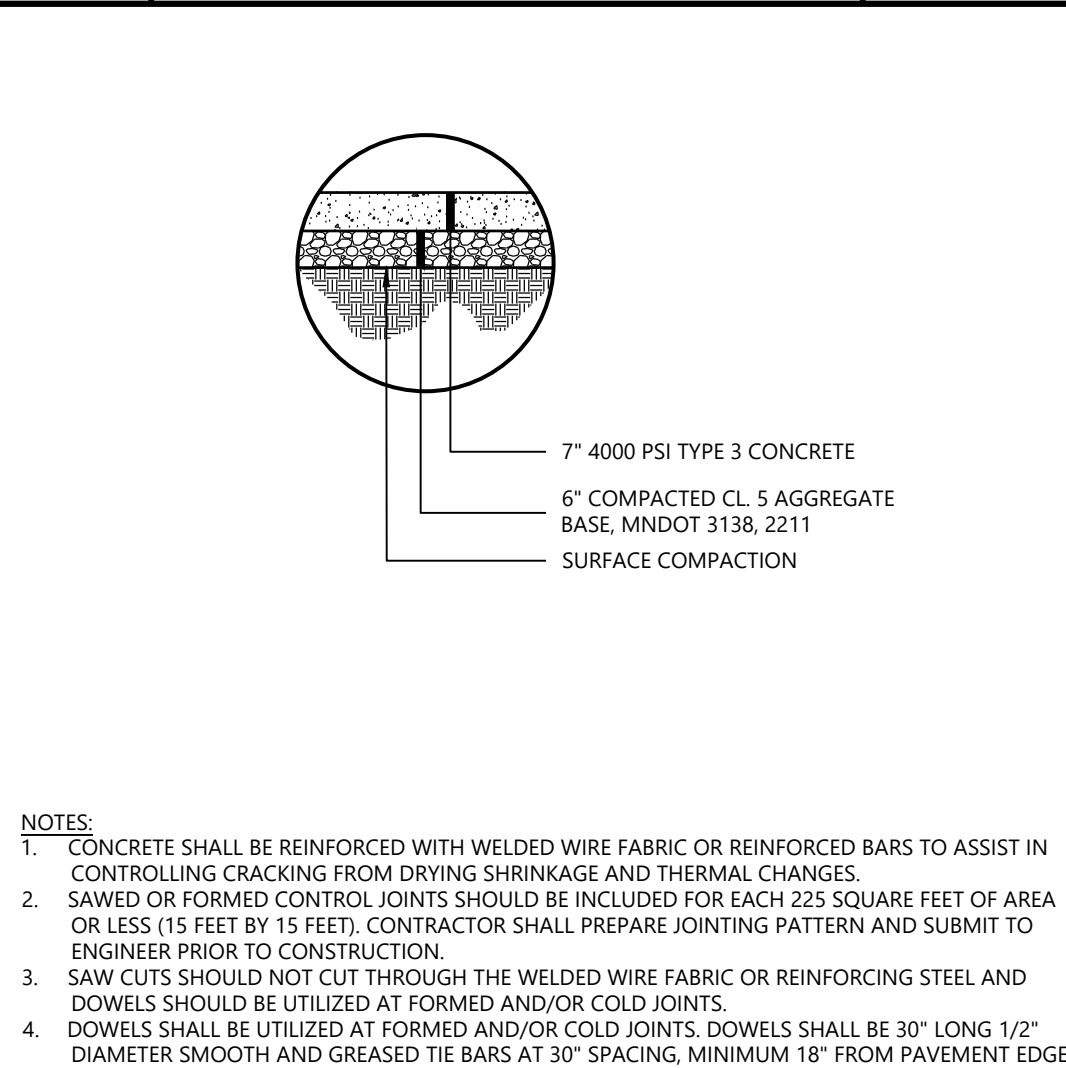
SI19

Westwood

BITUMINOUS TRAIL

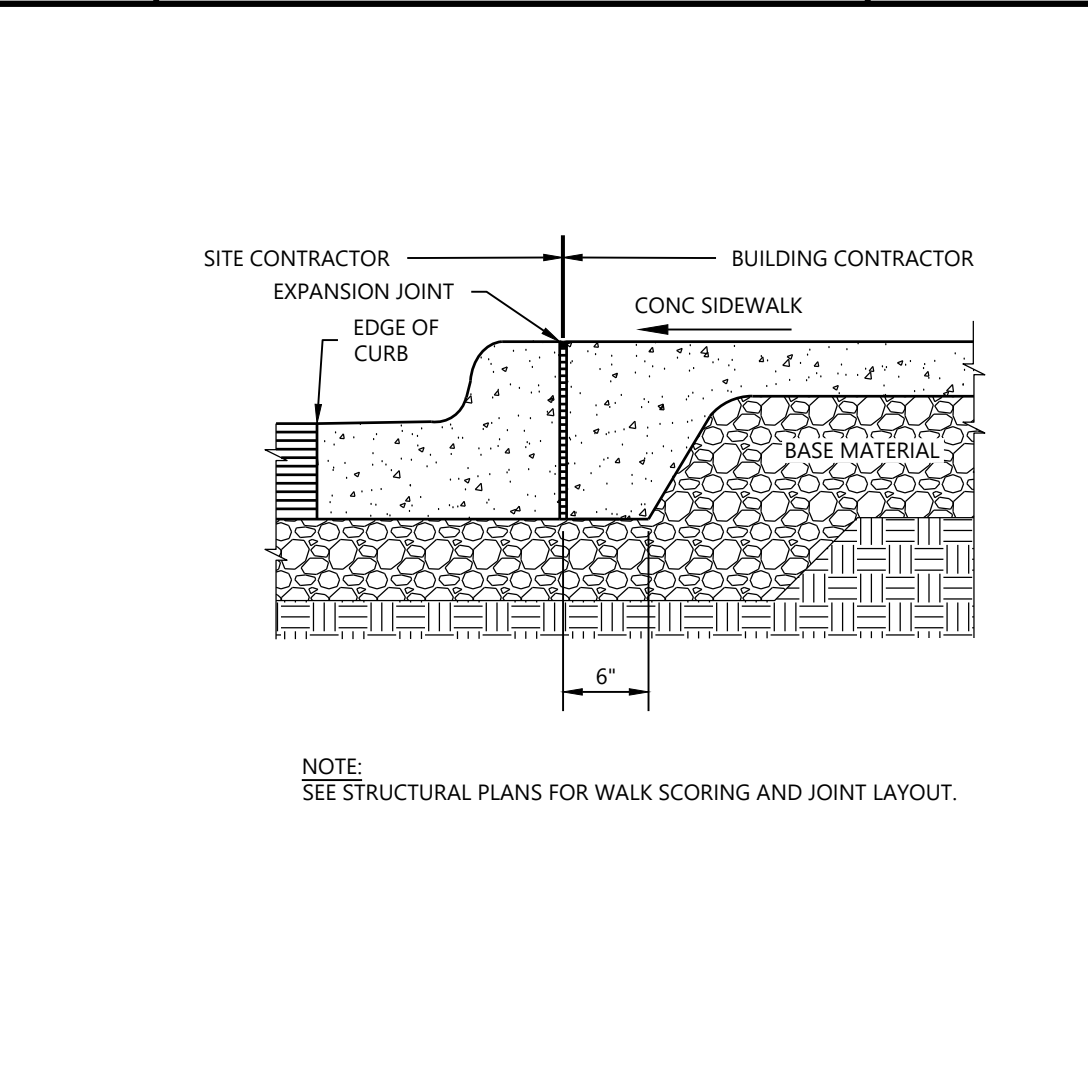
LAST REVISED: 08/15/17

SI20



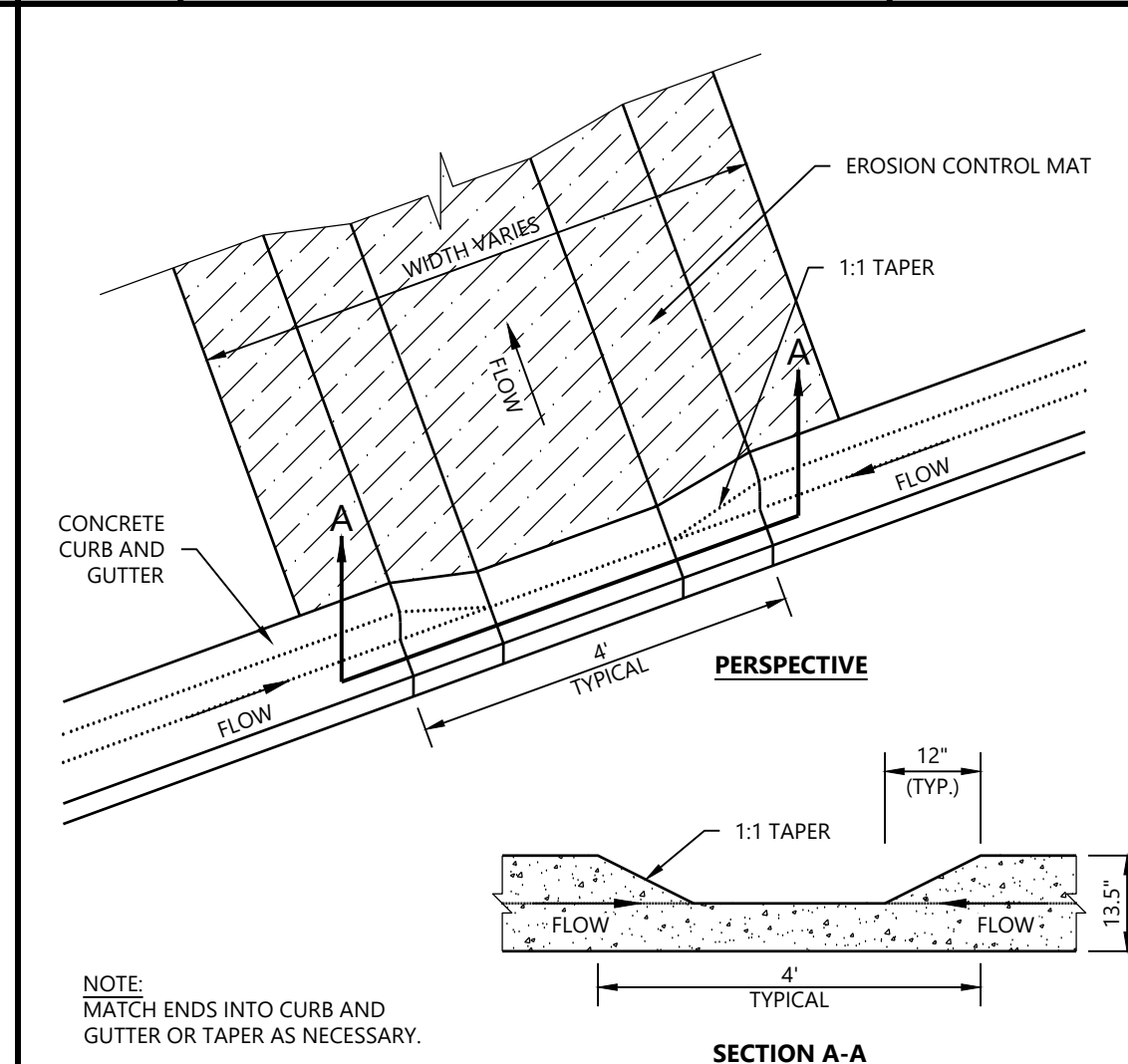
NOTES:

1. CONCRETE SHALL BE REINFORCED WITH WELDED WIRE FABRIC OR REINFORCED BARS TO ASSIST IN CONTROLLING CRACKING FROM DRYING SHRINKAGE AND THERMAL CHANGES.
2. SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET). CONTRACTOR SHALL PREPARE JOINTING PATTERN AND SUBMIT TO ENGINEER PRIOR TO CONSTRUCTION.
3. SAW CUTS SHOULD NOT CUT THROUGH THE WELDED WIRE FABRIC OR REINFORCING STEEL AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.
4. DOWELS SHALL BE UTILIZED AT FORMED AND/OR COLD JOINTS. DOWELS SHALL BE 30" LONG 1/2" DIAMETER SMOOTH AND GREASED THE BARS AT 30" SPACING. MINIMUM 18" FROM PAVEMENT EDGE.



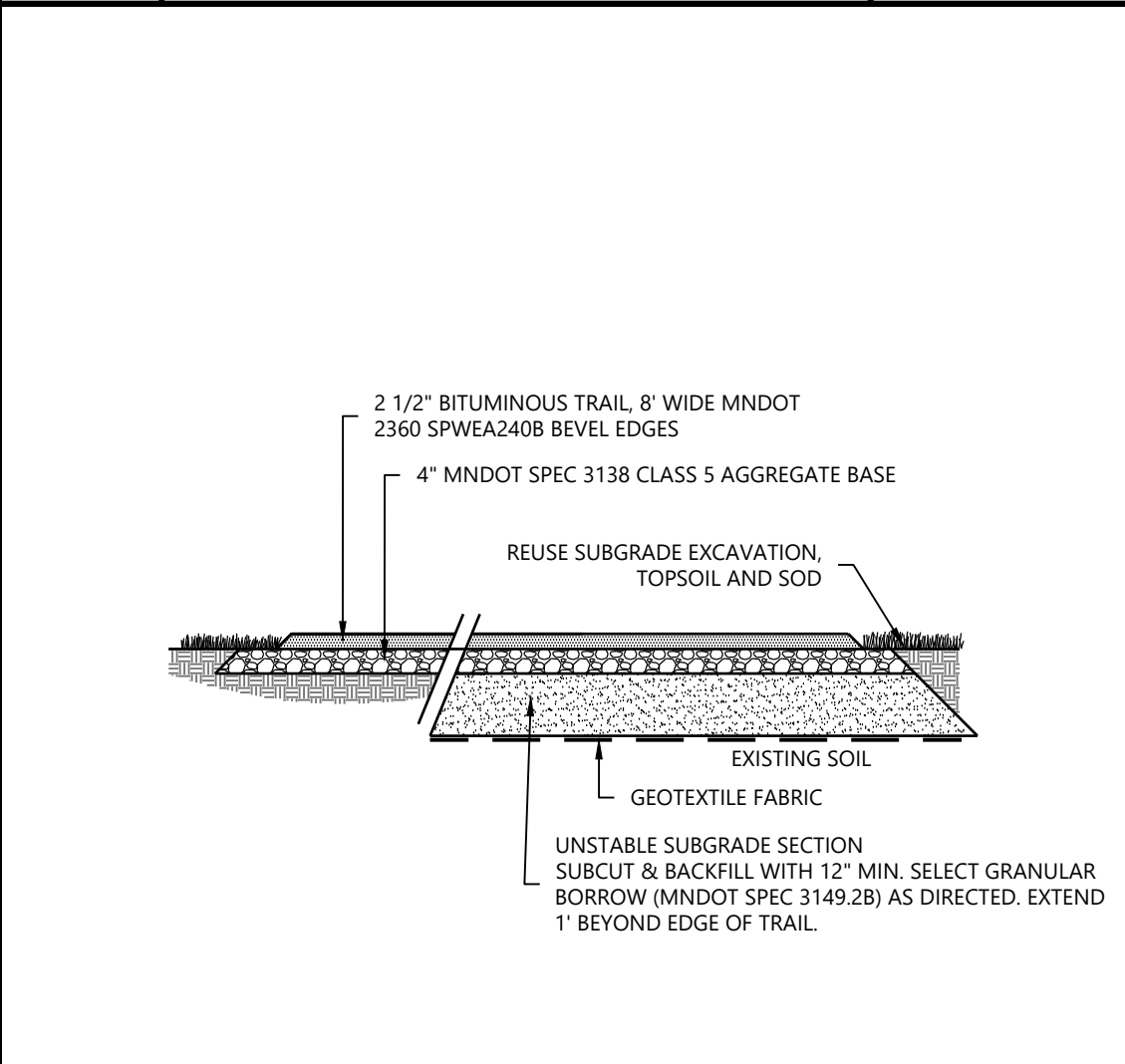
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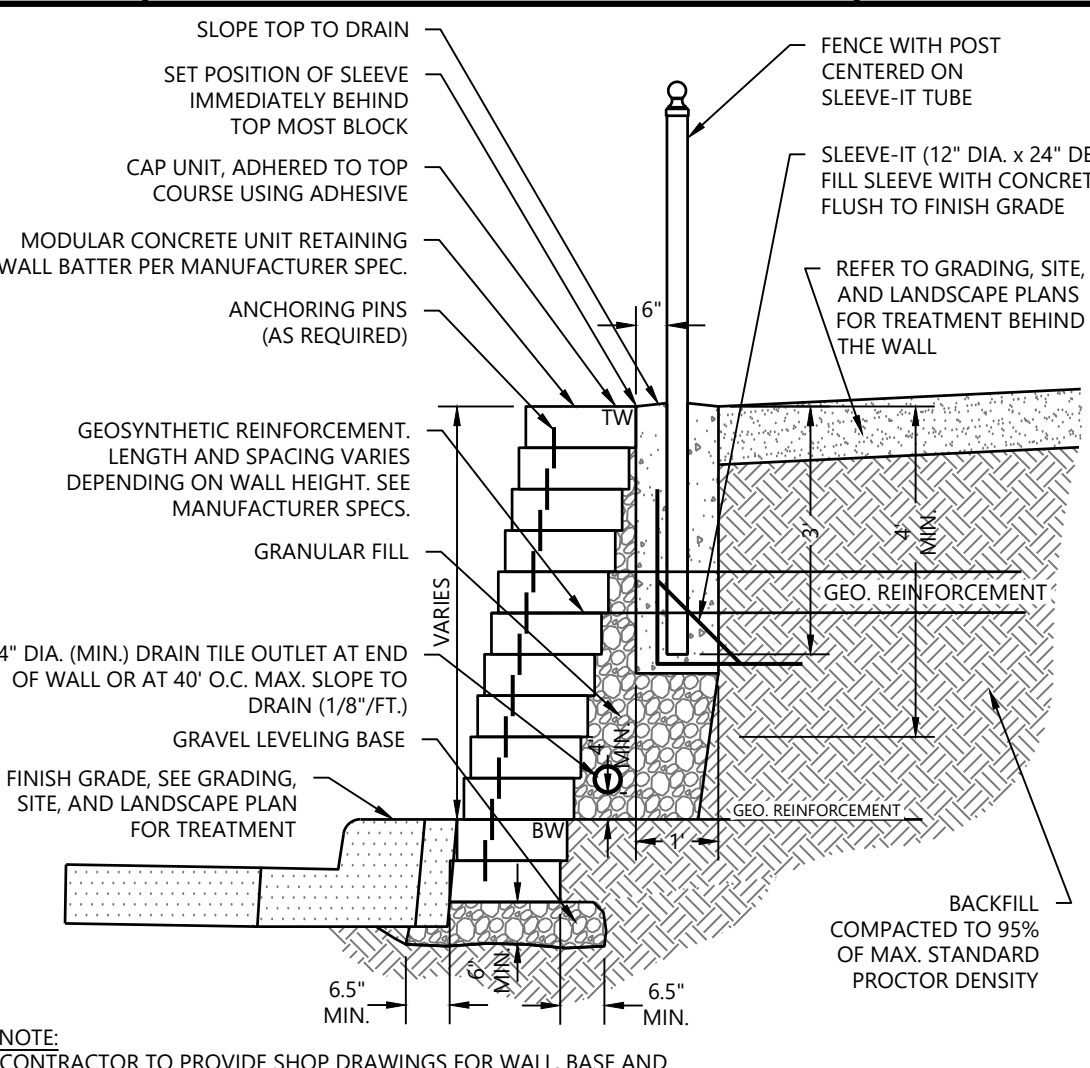
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Westwood

HEAVY DUTY CONCRETE SECTION LOADING DOCK

LAST REVISED: 08/15/17

SI21

Westwood

CONCRETE CURB AT SIDEWALK

LAST REVISED: 08/15/17

SI24

Westwood

CURB CUT WITH EROSION CONTROL MAT

LAST REVISED: 08/15/17

SI25

Westwood

BITUMINOUS TRAIL SECTION

LAST REVISED: 08/15/17

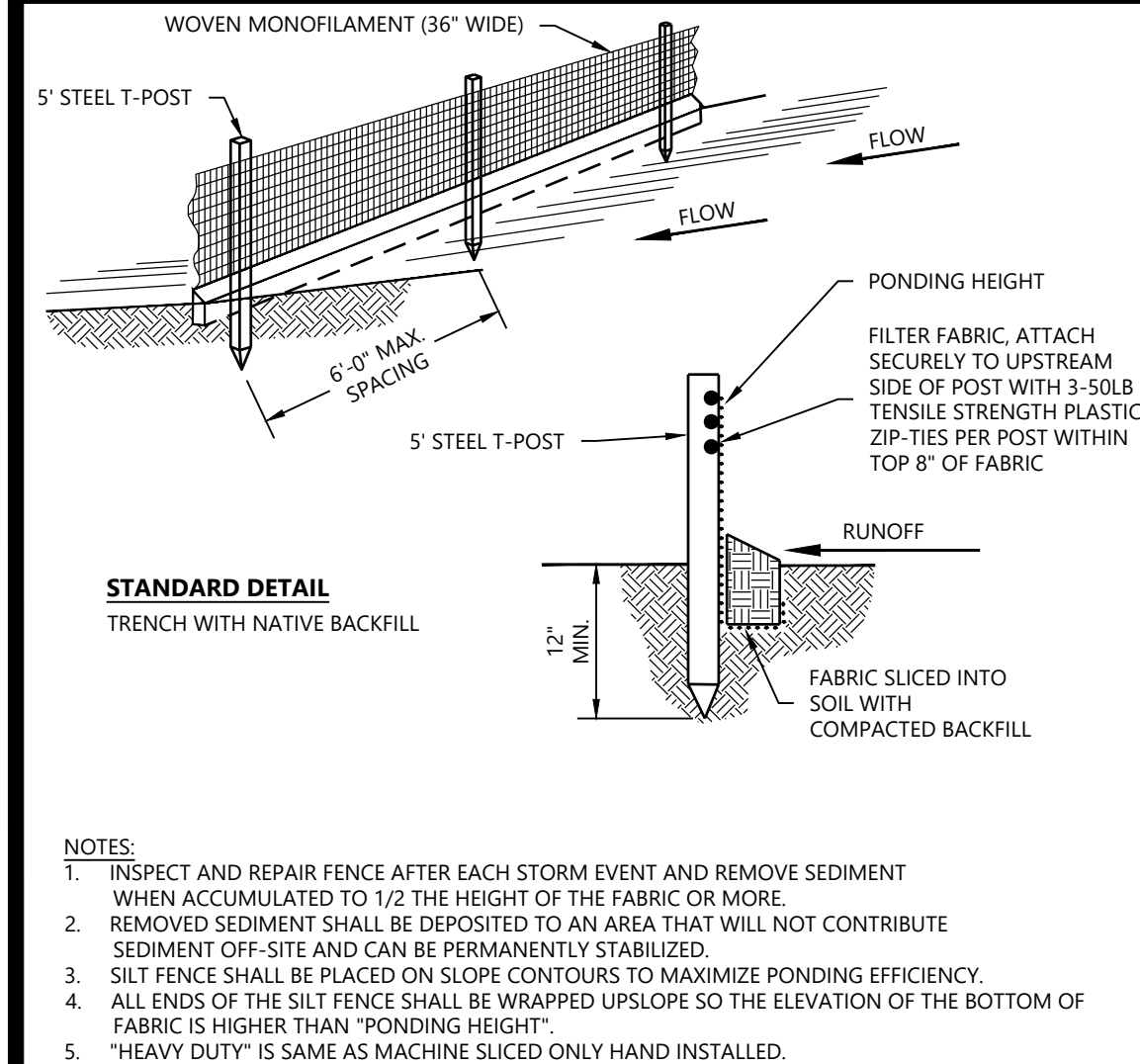
SI29

Westwood

RETAINING WALL WITH FENCE USING SLEEVE-IT SYSTEM

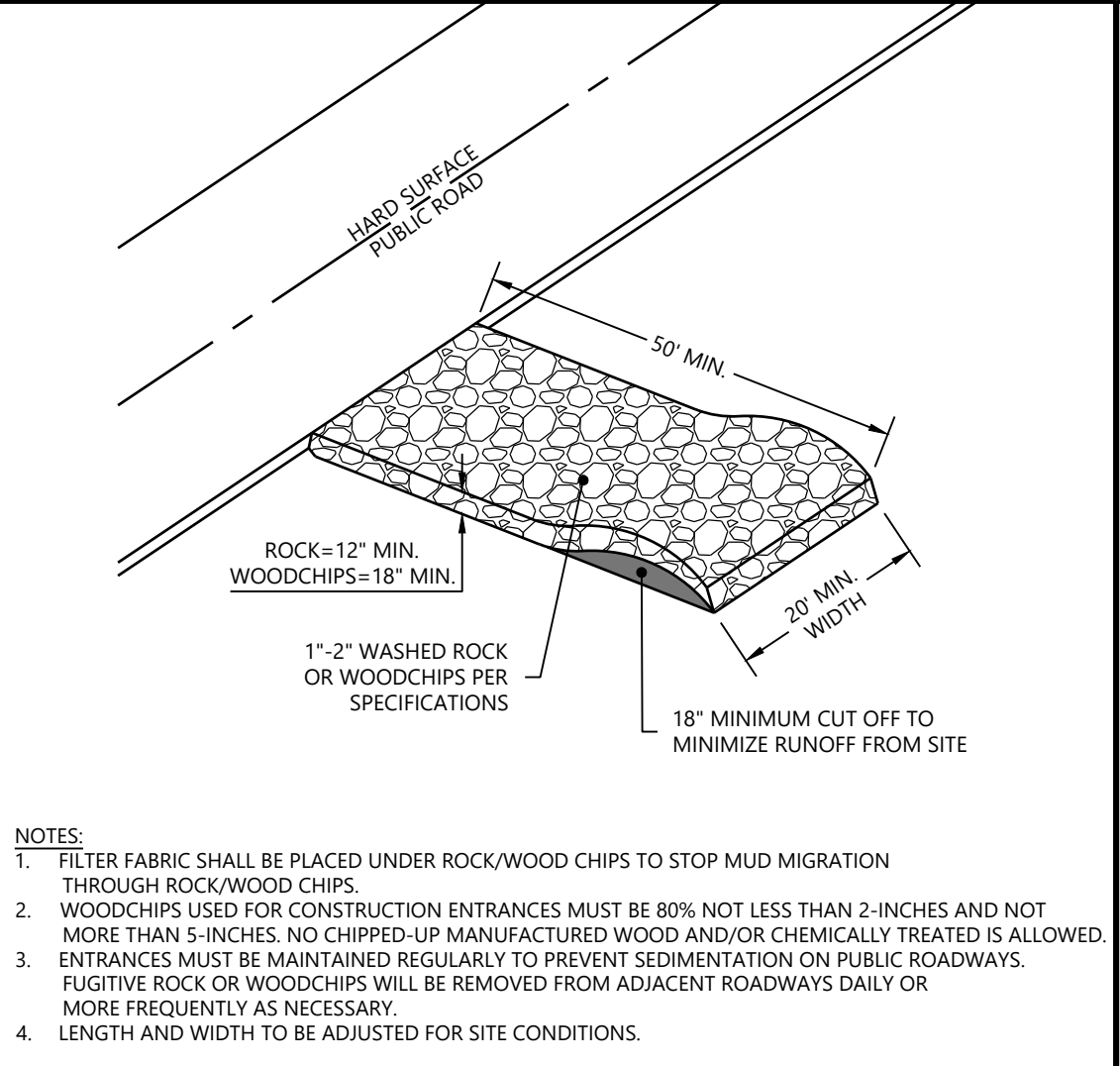
LAST REVISED: 08/15/17

SI43



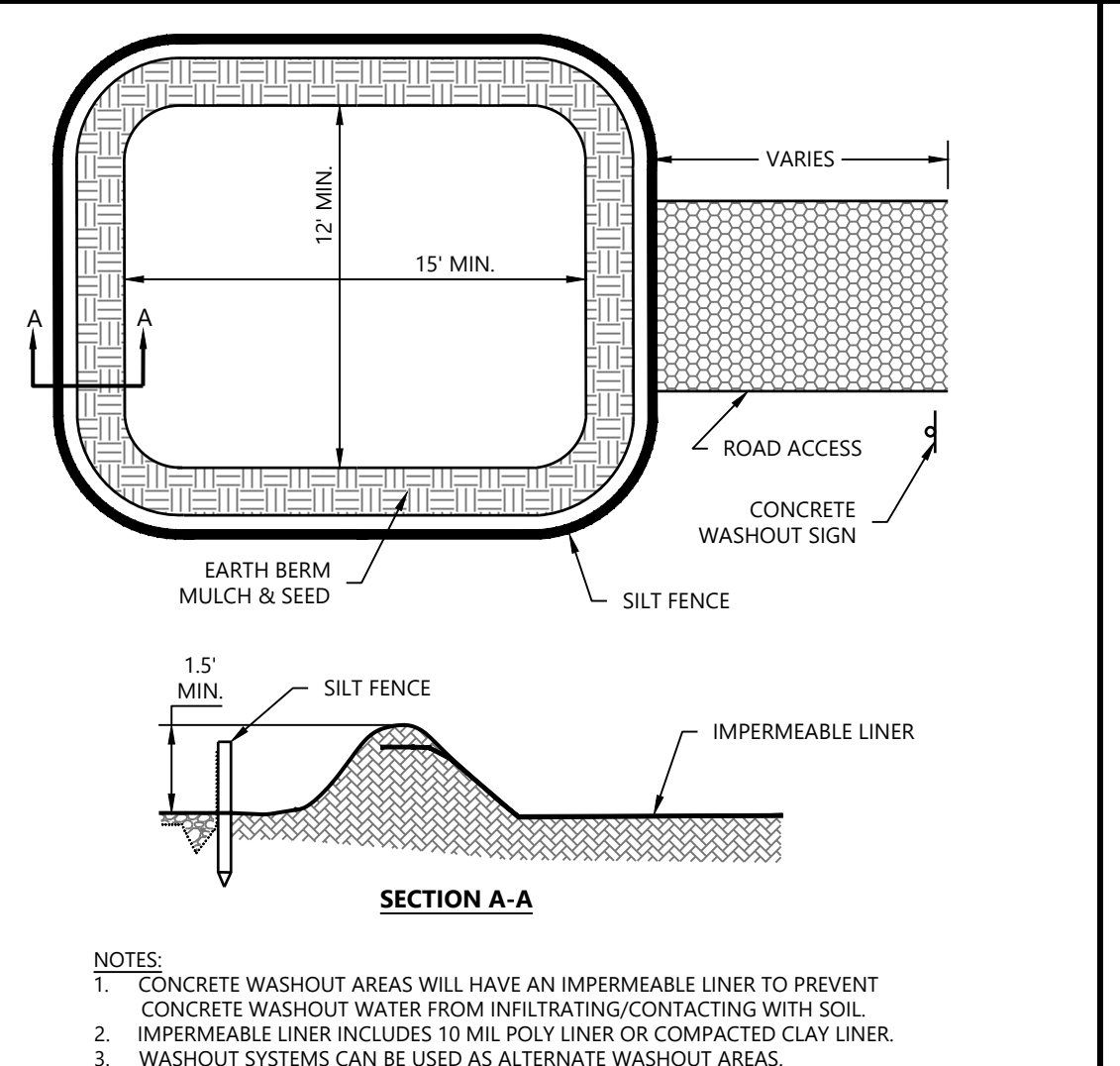
NOTES:

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN ACCUMULATED TO 1/2 THE HEIGHT OF THE FENCE OR MORE.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
4. ALL ENDS OF THE SILT FENCE SHALL BE WRAPPED UPSLOPE SO THE ELEVATION OF THE BOTTOM OF FABRIC IS HIGHER THAN "PONDING HEIGHT".
5. "HEAVY DUTY" IS SAME AS MACHINE SLICED ONLY HAND INSTALLED.



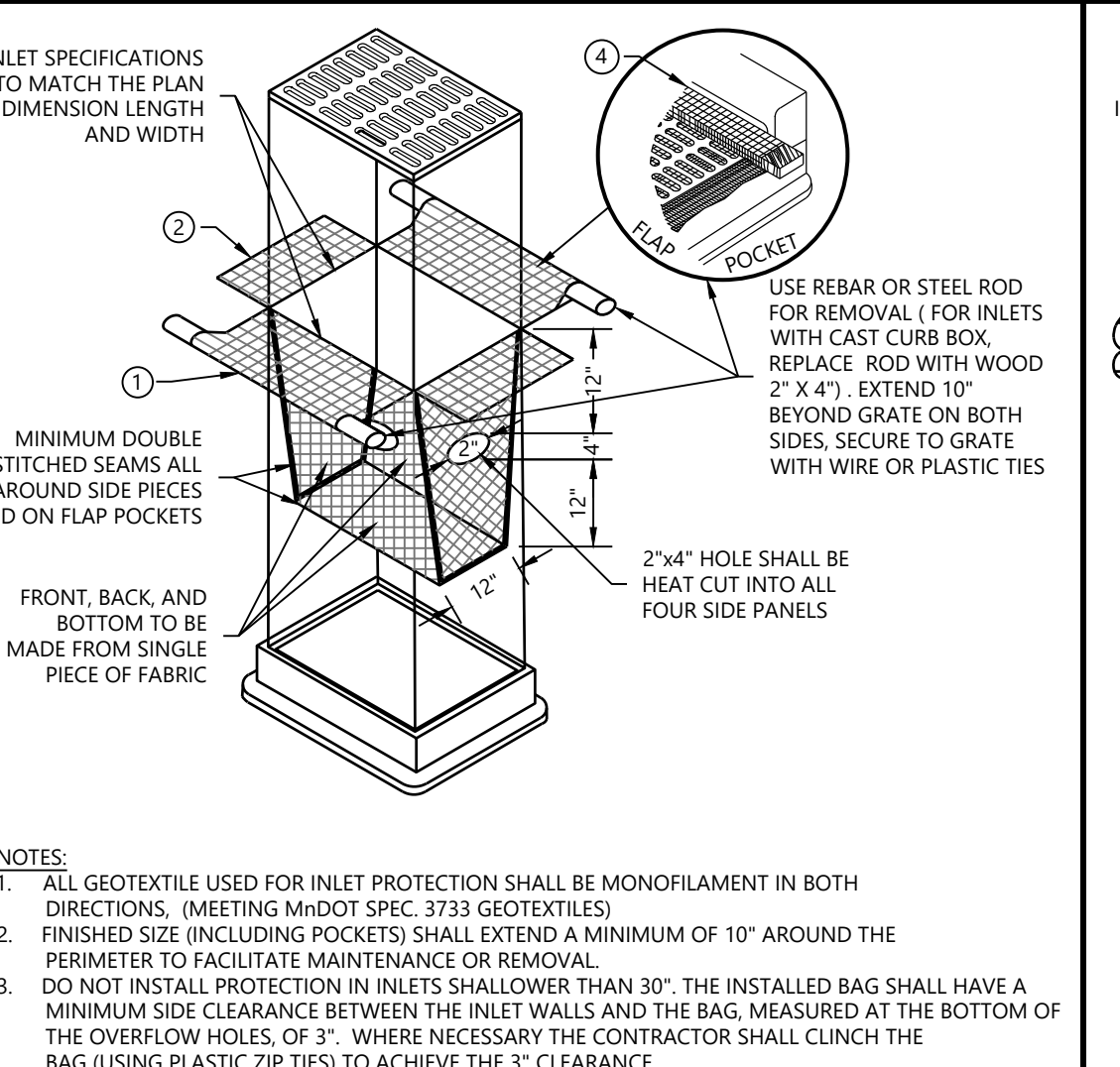
NOTES:

1. FILTER FABRIC SHALL BE PLACED UNDER ROCK/WOOD CHIPS TO STOP MUD MIGRATION THROUGH ROCK/WOOD CHIPS.
2. WOODCHIPS USED FOR CONSTRUCTION ENTRANCES MUST BE 80% NOT LESS THAN 2-INCHES AND NOT MORE THAN 5-INCHES. NO CHIPPED-UP MANUFACTURED WOOD AND/OR CHEMICALLY TREATED IS ALLOWED.
3. ENTRANCES MUST BE MAINTAINED REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS.
4. FUGITIVE ROCK OR WOODCHIPS WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.
5. LENGTH AND WIDTH TO BE ADJUSTED FOR SITE CONDITIONS.



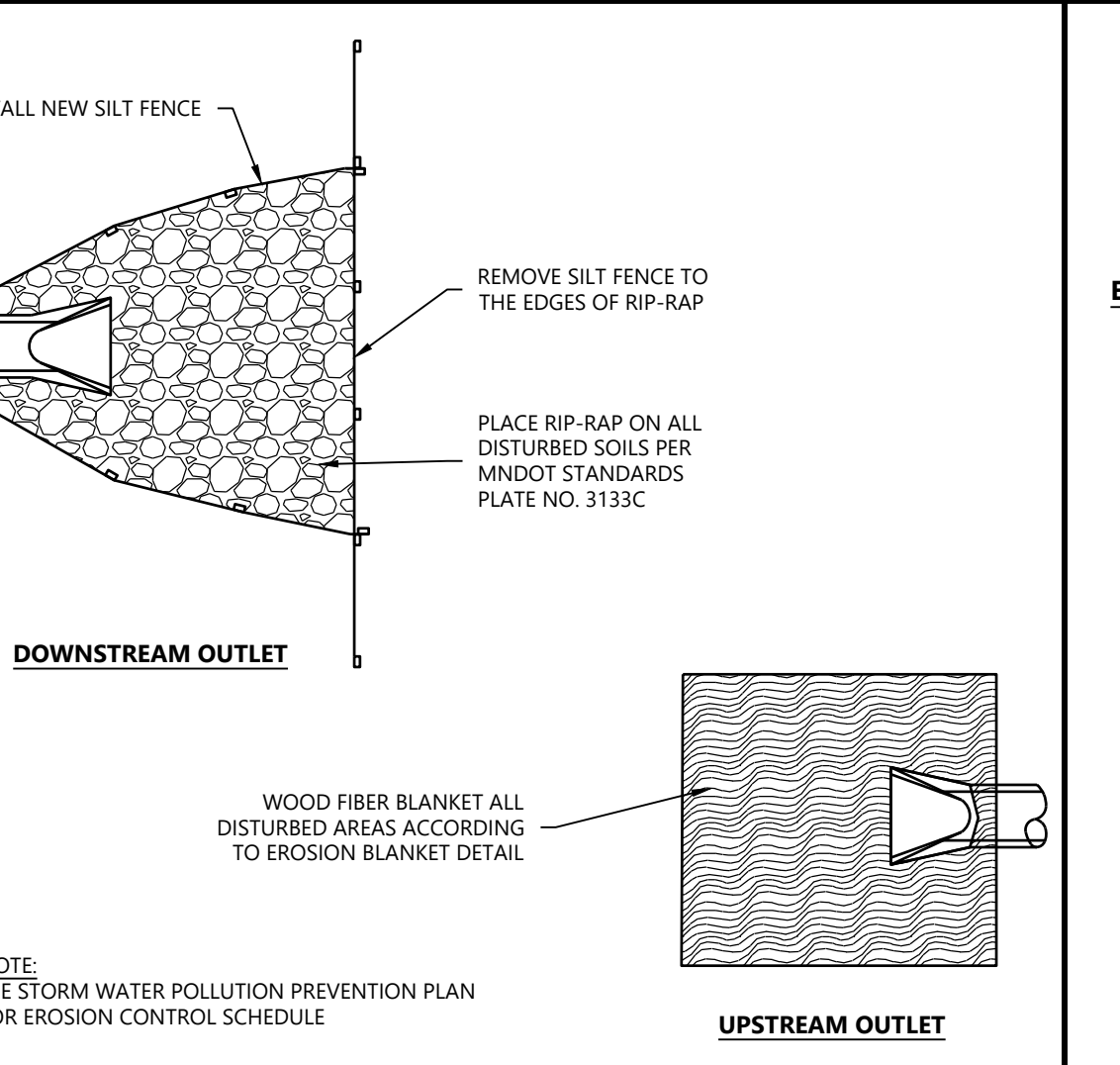
NOTES:

1. CONCRETE WASHOUT AREAS WILL HAVE AN IMPERMEABLE LINER TO PREVENT CONCRETE WASHOUT WATER FROM INFILTRATING/CONTACTING WITH SOIL.
2. IMPERMEABLE LINER INCLUDES 15 MIL POLY LINER OR COMPACTED CLAY LINER.
3. WASHOUT SYSTEMS CAN BE USED AS ALTERNATE WASHOUT AREAS.



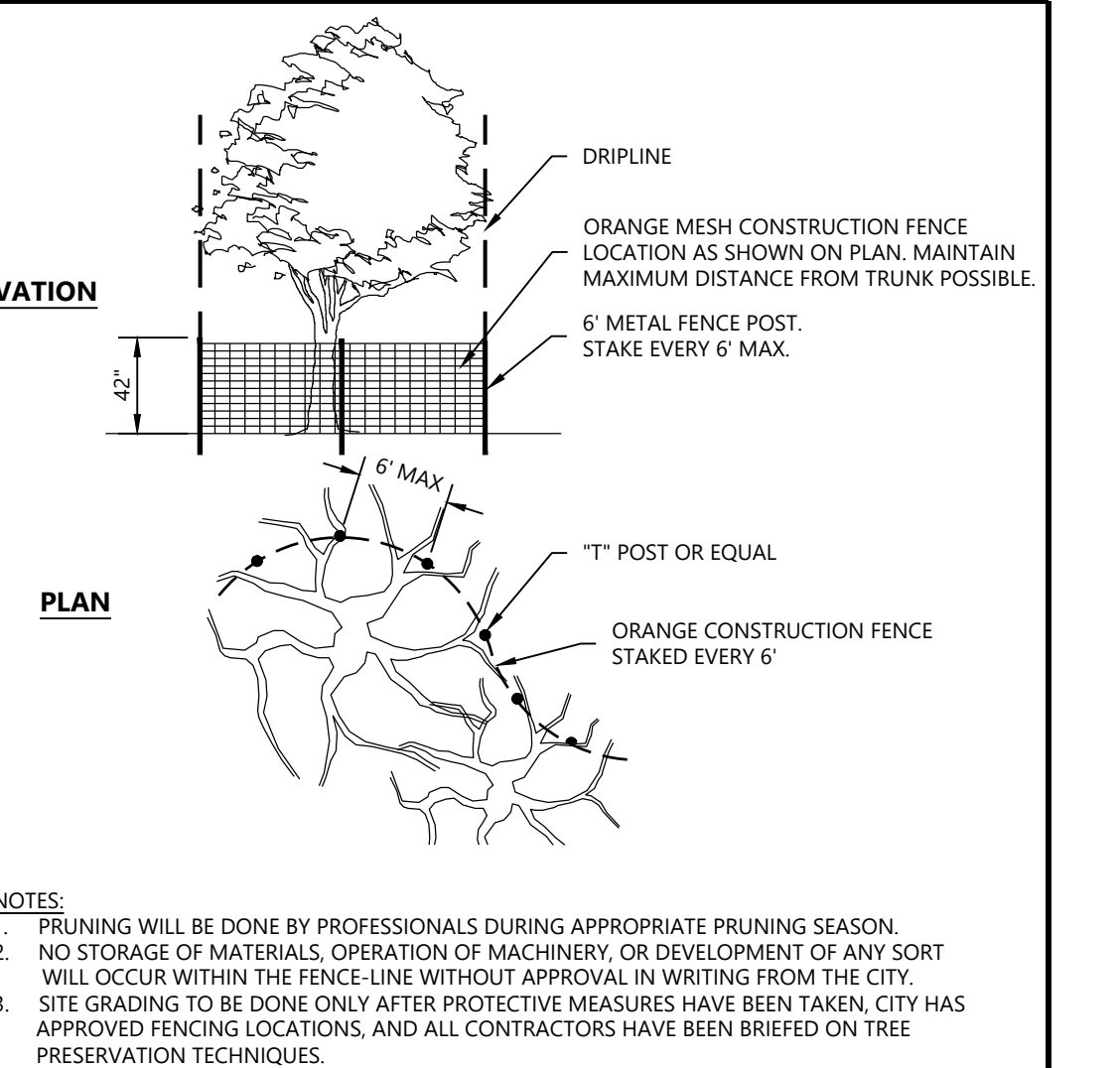
NOTES:

1. ALL GEOTEXTILE USED FOR INLET PROTECTION SHALL BE MONOFILAMENT IN BOTH DIRECTIONS, MEETING MNDOT SPEC 3733 (GEOTEXTILES).
2. FINISHED SIZE (INCLUDING POCKETS) SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
3. DO NOT INSTALL PROTECTION IN INLETS SHALLOWER THAN 30". THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CLUNCH THE BAG (USING PLASTIC ZIP TIES) TO ACHIEVE THE 3" CLEARANCE.



NOTES:

1. SEE STORM WATER POLLUTION PREVENTION PLAN FOR EROSION CONTROL SCHEDULE.



NOTES:

1. PRUNING WILL BE DONE BY PROFESSIONALS DURING APPROPRIATE PRUNING SEASON.
2. NO STORAGE OF MATERIALS, OPERATION OF MACHINERY, OR DEVELOPMENT OF ANY SORT WILL OCCUR WITHIN THE FENCE LINE WITHOUT APPROVAL IN WRITING FROM THE CITY.
3. SITE GRADING TO BE DONE ONLY AFTER PROTECTIVE MEASURES HAVE BEEN TAKEN. CITY HAS APPROVED FENCING LOCATIONS, AND ALL CONTRACTORS HAVE BEEN BRIEFED ON TREE PRESERVATION TECHNIQUES.

Westwood

MACHINE SLICED SILT FENCE (HEAVY DUTY)

LAST REVISED: 08/15/17

GD03

Westwood

CONSTRUCTION ENTRANCE

LAST REVISED: 08/15/17

GD05

Westwood

CONCRETE WASHOUT AREA

LAST REVISED: 08/15/17

GD08

Westwood

STORM DRAIN FILTER BAG INSERT

LAST REVISED: 08/15/17

GD10

Westwood

EROSION CONTROL AT FLARED END SECTIONS

LAST REVISED: 08/15/17

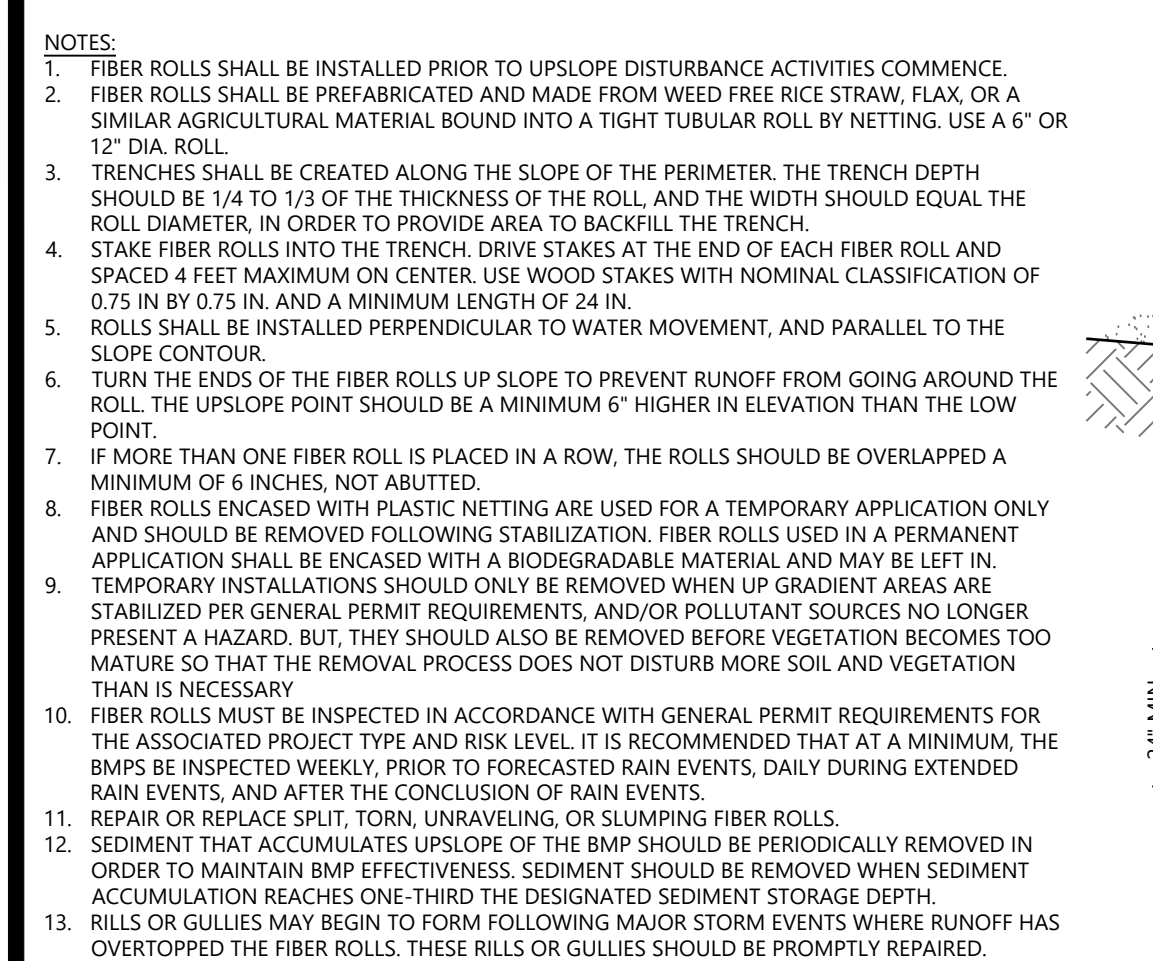
GD27

Westwood

TREE PROTECTION

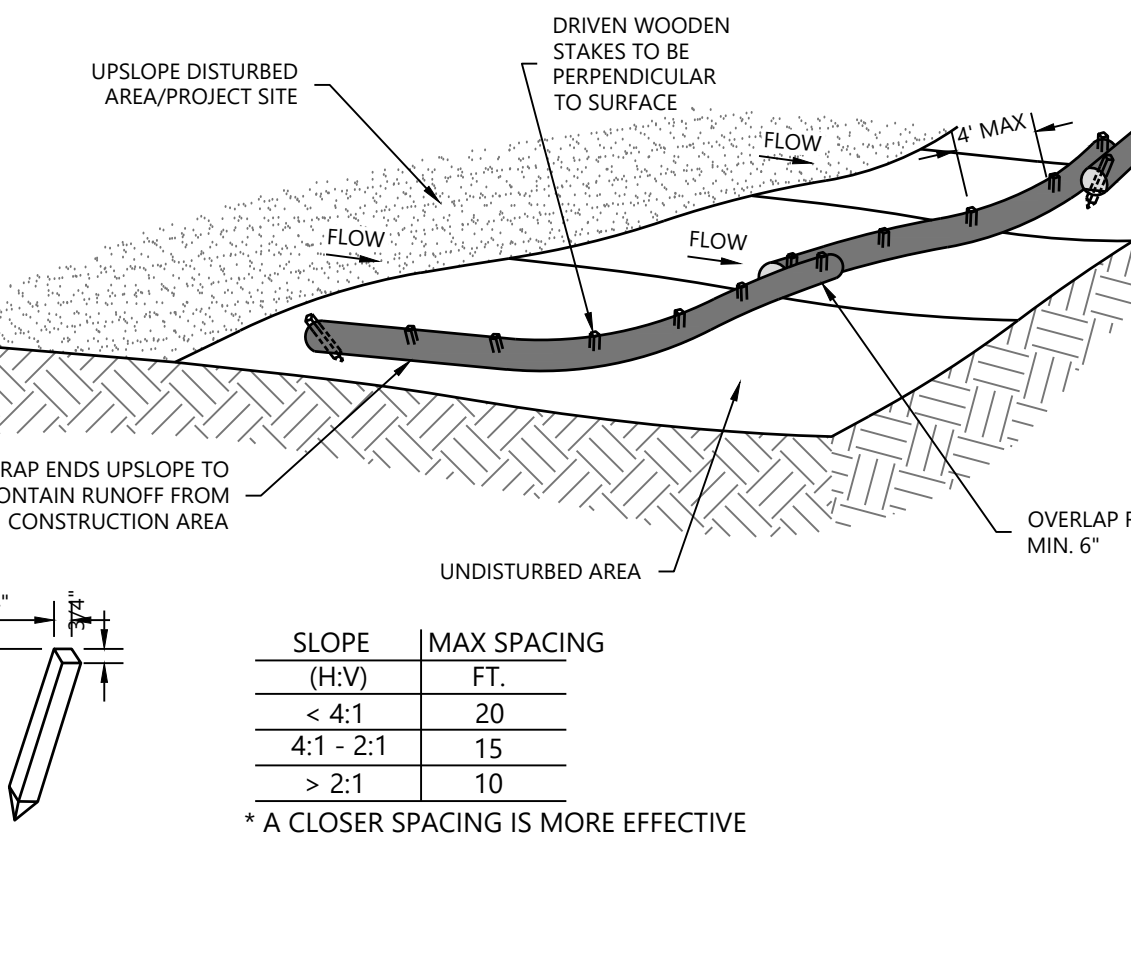
LAST REVISED: 08/15/17

GD36



NOTES:

1. FIBER ROLLS SHALL BE INSTALLED PRIOR TO UPSLOPE DISTURBANCE ACTIVITIES COMMENCE.
2. FIBER ROLLS SHALL BE PREFABRICATED AND MADE FROM WIED FREE RICE STRAW, FLAX, OR A SIMILAR AGRICULTURAL MATERIAL BOUND INTO A TIGHT TUBULAR ROLL BY NETTING. USE A 6" OR 12" DIA. ROLL.
3. TRENCHES SHALL BE CREATED ALONG THE SLOPE OF THE PERIMETER. THE TRENCH DEPTH SHOULD BE 1/4 TO 1/3 OF THE THICKNESS OF THE ROLL, AND THE WIDTH SHOULD EQUAL THE ROLL DIAMETER. IN ORDER TO PROVIDE AREA TO BACKFILL THE TRENCH.
4. STAKE FIBER ROLLS INTO THE TRENCH. DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FEET MAXIMUM ON CENTER. USE WOOD STAKES WITH NOMINAL CLASSIFICATION OF 0.75 IN BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
5. ROLLS SHALL BE INSTALLED PERPENDICULAR TO WATER MOVEMENT, AND PARALLEL TO THE SLOPE CONTOUR.
6. TURN THE ENDS OF THE FIBER ROLLS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. THE UPSLOPE POINT SHOULD BE A MINIMUM 6" HIGHER IN ELEVATION THAN THE LOW POINT.
7. IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED A MINIMUM OF 6 INCHES, NOT BUTTED.
8. FIBER ROLLS ENCASED WITH PLASTIC NETTING ARE USED FOR A TEMPORARY APPLICATION ONLY AND SHOULD BE REMOVED FOLLOWING STABILIZATION. FIBER ROLLS USED IN A PERMANENT APPLICATION SHALL BE ENCASED WITH A BIODEGRADABLE MATERIAL AND MAY BE LEFT IN TEMPORARY INSTALLATIONS SHOULD ONLY BE REMOVED WHEN UP GRADIENT AREAS ARE STABILIZED PER GENERAL PERMIT REQUIREMENTS, AND/OR POLLUTANT SOURCES NO LONGER PRESENT A HAZARD. BUT, THEY SHOULD ALSO BE REMOVED BEFORE VEGETATION BECOMES TOO MATURE SO THAT THE REMOVAL PROCESS DOES NOT DISTURB MORE SOIL AND VEGETATION THAN IS NECESSARY.
9. FIBER ROLLS MUST BE INSPECTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS FOR THE ASSOCIATED PROJECT TYPE AND RISK LEVEL. IT IS RECOMMENDED THAT AT A MINIMUM, THE BMRPS BE INSPECTED WEEKLY, PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AND AFTER THE CONCLUSION OF RAIN EVENTS.
10. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING, OR SLUMPING FIBER ROLLS.
11. SEDIMENT THAT ACCUMULATES UPSLOPE OF THE BMRP SHOULD BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMRP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-THIRD THE DESIGNATED SEDIMENT STORAGE DEPTH.
12. RILLS OR GULLIES MAY BEGIN TO FORM FOLLOWING MAJOR STORM EVENTS WHERE RUNOFF HAS OVERTOPPED THE FIBER ROLLS. THESE RILLS OR GULLIES SHOULD BE PROMPTLY REPAIRED.



SLOPE (H/V)

MAX SPACING

FT.

< 4:1

20

4:1 - 2:1

15

> 2:1

10

* A CLOSER SPACING IS MORE EFFECTIVE

Westwood

TYPICAL FIBER ROLLS FOR PERIMETER CONTROL OF CONSTRUCTION AREA LIMIT

LAST REVISED: 08/15/17

GD42

DESIGNED:	08/23/2021
CHECKED:	CITY RESUBMITTAL
DRAWN:	12/02/2021
WATERSEAL COMMENTS:	12/02/2021
CITY COMMENTS:	12/02/2021
WATERSEAL CITY COMMENTS:	12/02/2021

PREPARED FOR:

GRECO REAL ESTATE DEVELOPMENT, LLC

607 WASHINGTON AVENUE NORTH

MINNEAPOLIS, MN 55388

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IN ACCORDANCE WITH THE LAWS OF THE STATE OF MINNESOTA

DAVID T. BADE

DATE: 02/27/2021 LICENSE NO. .

BLUE STEM NORTH

EDEN PRAIRIE, MN

Westwood

12701 Whitewater Drive, Suite #300

Minneapolis, MN 55443

Phone: (612) 837-2165

Fax: (612) 837-2322

Email: info@westwoodps.com

Westwood Professional Services, Inc.

DETAILS

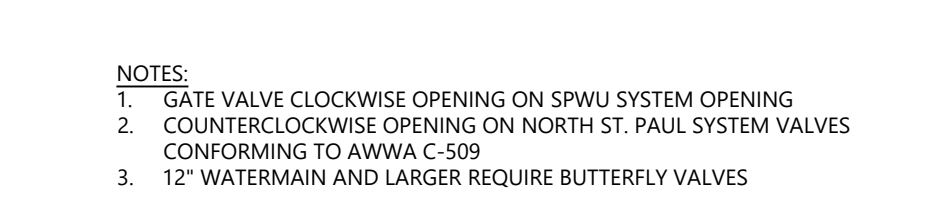
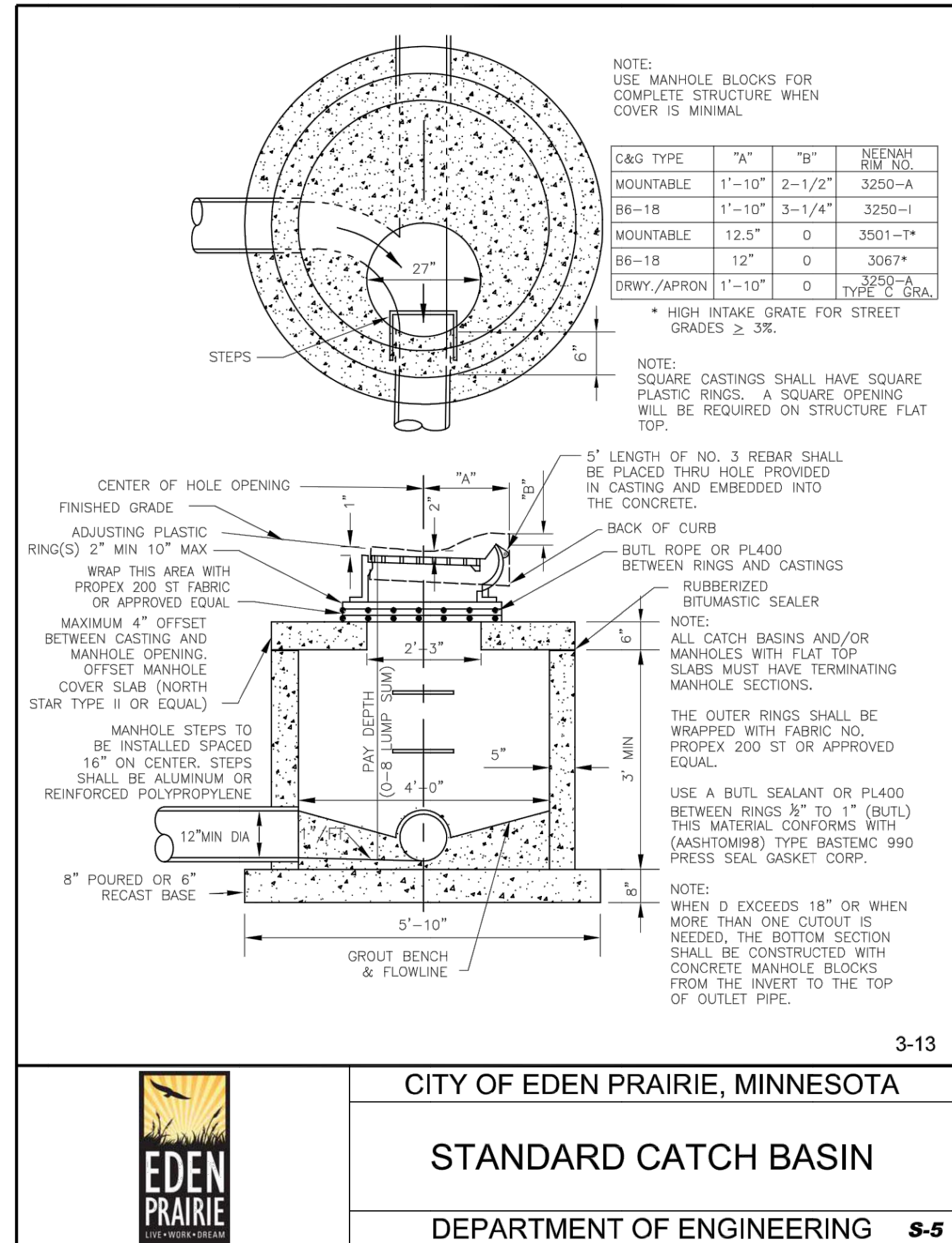
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C600

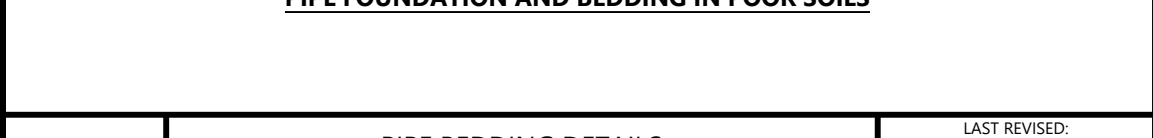
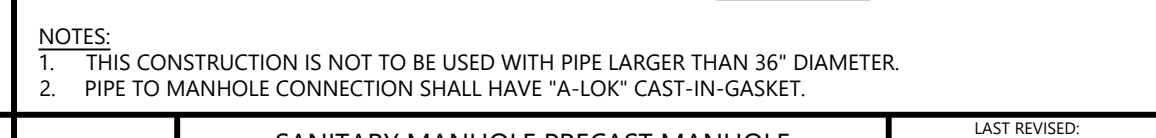
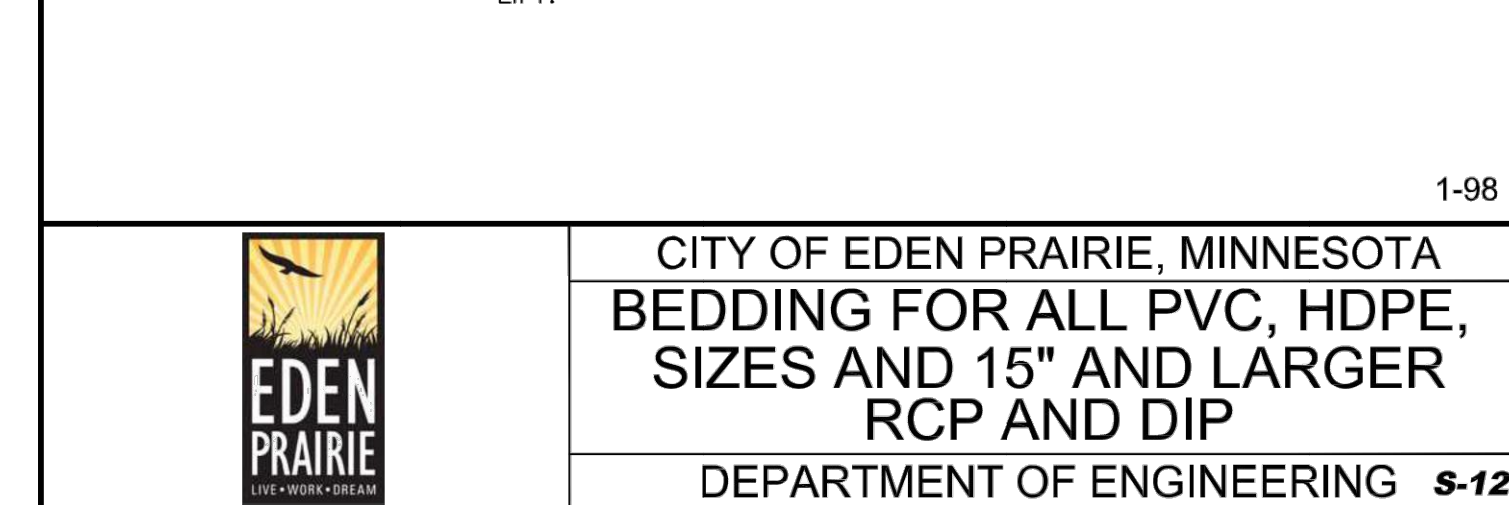
DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH



METAL ISSUE REVISIONS		08/23/2021	
△	11/2/2021	CITY RESUBMITAL	DESIGNED
△	12/02/2021	WATERSHED COMMENTS	CHECKED
△	12/17/2021	CITY COMMENTS	DRAWING
△	01/27/2022	CITY COMMENTS	HORIZONTAL SCALE
△	02/27/2022	WATERSHED COMMENTS	VERTICAL SCALE
			0.00" = 1'-0"



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
DAVID T. BADE, A PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA.

DAVID T. BADE
DATE: 02/27/2021 LICENSE NO. _____

BLUE STEM NORTH
EDEN PRAIRIE, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minneapolis, MN 55443
Toll Free (888) 937-5150 [westwoodps.com](http://www.westwoodps.com)
Westwood Professional Services, Inc.

DETAILS

02/27/2021

NUMBER: 0031916.00

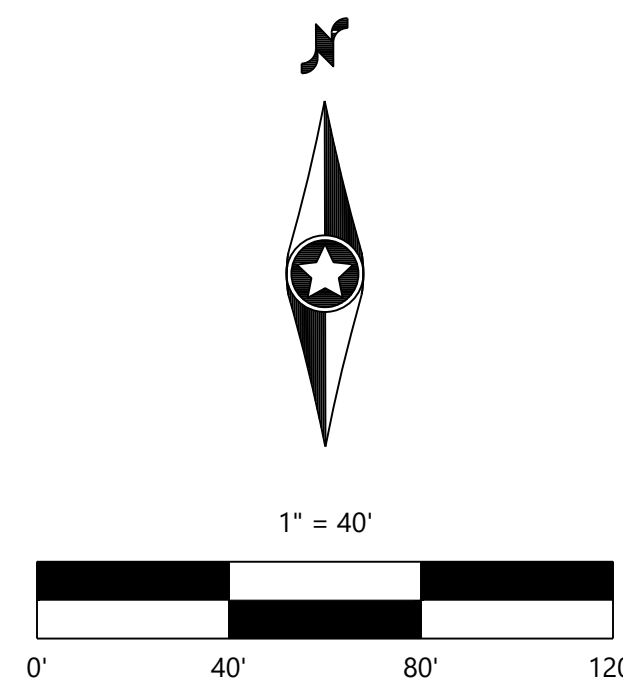


WETLAND BUFFER TABLE

WETLAND	REQUIRED 40'/60' BUFFER AREA*
01-34-A	87,796 SF
01-34-G/H	23,383 SF
01-34-F	17,720 SF

*REQUIRED BUFFER = 40' FOR MEDIUM VALUE WETLANDS AND 60' FOR HIGH VALUE WETLANDS BASED ON MORE RESTRICTIVE NINE-MILE CREEK WATERSHED DISTRICT STANDARDS.

Hatched box symbol: HIGH VALUE MITIGATION AREA



NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

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607 WASHINGTON AVENUE NORTH
MINNEAPOLIS, MN 55388

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EDEN PRAIRIE, MN

Westwood
12701 Whitewater Drive, Suite #300
Minneapolis, MN 55443
Phone: (612) 837-2510
Fax: (612) 837-2522
www.westwoodpro.com
Westwood Professional Services, Inc.

WETLAND BUFFER REQUIREMENTS

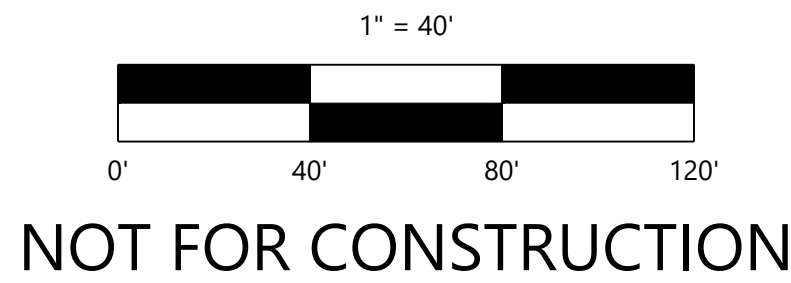
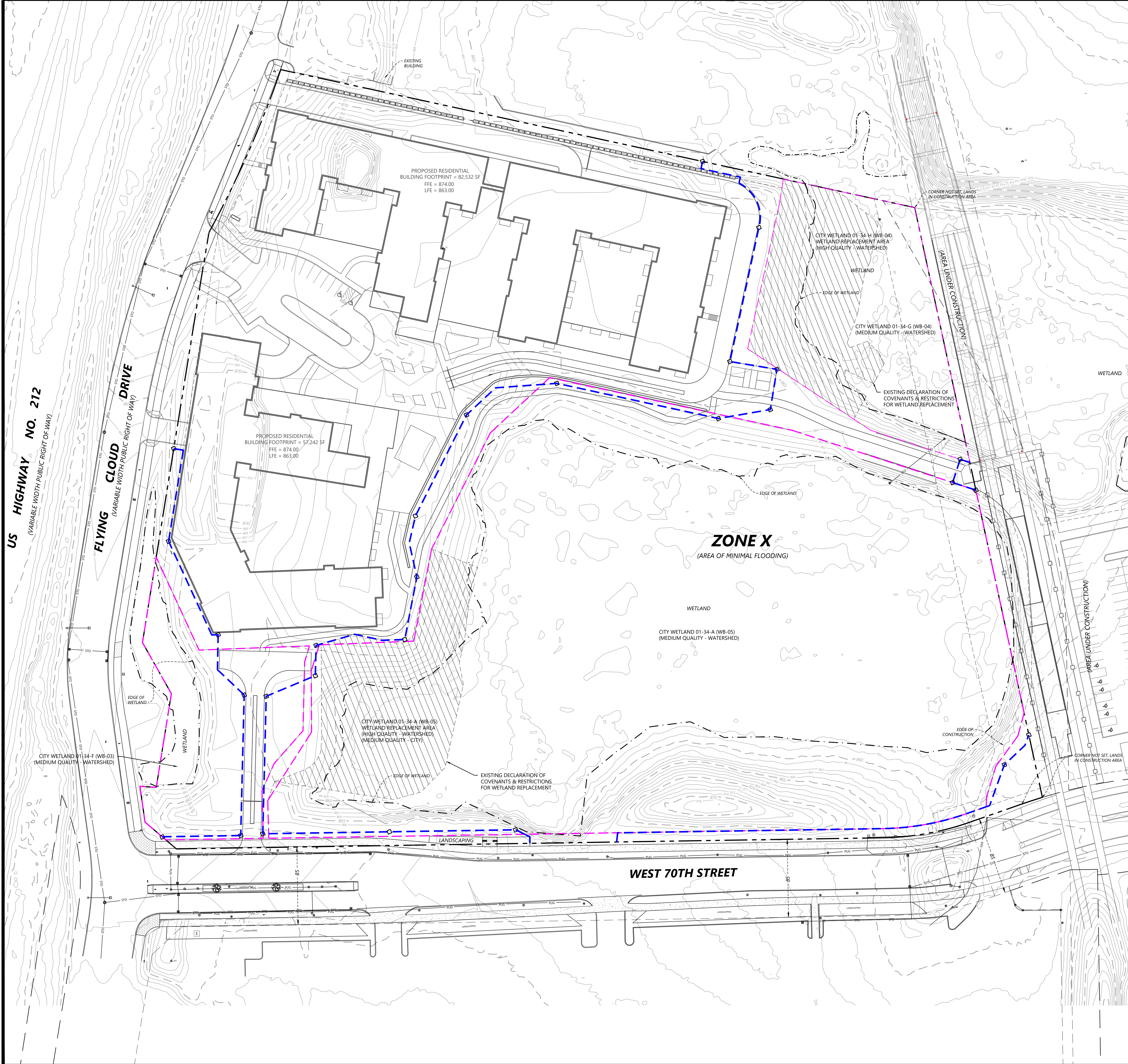
SHEET NUMBER:

C800

DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

- EXISTING CONSERVATION EASEMENTS
- PROPOSED CONSERVATION EASEMENTS
- EXISTING DECLARATIONS OF COVENANTS AND RESTRICTIONS FOR WETLAND REPLACEMENT

DESIGNED:	08/23/2021	CITY RESUBMITTAL
CHECKED:	11/22/2021	WATERSHED COMMENTS
DRAWN:	12/02/2021	CITY COMMENTS
APPROVED:	01/27/2022	CITY COMMENTS
DATE:	02/27/2021	WATERSHED CITY COMMENTS

PREPARED FOR:
GRECO REAL ESTATE DEVELOPMENT, LLC
607 WASHINGTON AVENUE NORTH
MINNEAPOLIS, MN 55388

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DAVID T. BADE
DATE 02/27/2021 LICENSE NO. 111111

BLUE STEM NORTH
EDEN PRAIRIE, MN

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CONSERVATION EASEMENT PLAN

SHEET NUMBER:

C803

DATE: 02/27/2021

PROJECT NUMBER: 0031916.00

BLUE STEM NORTH